





2

## Planning Commission Study Session

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** AMY TEMES, PRINCIPAL PLANNER   
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

**THROUGH:** EVA CUTRO, AICP, PLANNING MANAGER   
(480) 503-6782, EVA.CUTRO@GILBERTAZ.GOV

**MEETING DATE:** AUGUST 5, 2020

**SUBJECT:** Z19-01 HERITAGE DISTRICT DESIGN GUIDELINES

**STRATEGIC INITIATIVE:** Exceptional Built Environment

This text amendment will provide an update to Heritage District Design Guidelines, revised development standards and glossary of terms to reflect the 2018 Redevelopment Plan which was adopted in August 2018. The amendment will provide updates that reflect the needs of the District now and into the future.

### REQUEST

**Z19-01, Heritage District Design Guidelines:** Request to amend Chapter I Zoning Regulations, Division 2 Land Use Designations, Article 2.4 Heritage Village Center Zoning District, Division, 3 Overlay Zoning District, Article 3.4 Heritage District Overlay Zoning District, and Division 6 Use Definitions; amending Chapter II, Design Standards and Design Guidelines, Article 1.8 Heritage District Design Guidelines; and amending the Glossary of Terms related to development standards within the Heritage Village Center Zoning District.

### RECOMMENDED MOTION

Request for input only. No motion required.

## **APPLICANT**

**Company:** Town of Gilbert  
**Name:** Amy Temes  
**Address:** 0 East Civic Center Drive  
Gilbert, AZ 85297  
**Phone:** 480-503-6729  
**Email:** [Amy.Temes@Gilbertaz.gov](mailto:Amy.Temes@Gilbertaz.gov) / [AmandaElliott@gilbertaz.gov](mailto:AmandaElliott@gilbertaz.gov)

## **BACKGROUND/DISCUSSION**

### **History**

<b>Date</b>	<b>Description</b>
<i>July 16, 2008</i>	The Planning Commission initiated a text amendment to the Land Development Code to establish Design Guidelines applicable to the Heritage District and create new provisions in the Heritage District Village Zoning District to implement future design guidelines for residential and commercial uses in the related to preserving the historic character of the existing uses and accommodating new development that fits into the historic context of the Heritage District.
<i>November 19, 2009</i>	The Redevelopment Commission recommended approval to Planning Commission for the commercial sections of the Heritage District Design Guidelines.
<i>February 17, 2010</i>	The Planning Commission held the required citizen review for the proposed text amendment.
<i>February 18, 2010</i>	The Redevelopment Commission recommended approval to the Planning Commission for the residential sections of the Heritage District Design Guidelines.
<i>March 3, 2010</i>	The Planning Commission recommended approval to the Town Council for the approval of the proposed text amendment.
<i>March 23, 2010</i>	Town Council approved the findings of fact and adopted Ordinance No. 2281 (Z08-28), the amendment to the zoning code of Gilbert, Arizona, Chapter II, Article 1.8 and Chapter I, Article 4.2, Section 4.204, to establish commercial and residential design guidelines for the Gilbert Heritage District and to amend the parking requirements for residential uses in the Heritage District.
<i>August 16, 2018</i>	Town Council adopted the 2018 Heritage District Redevelopment Plan.
<i>February 6, 2019</i>	Planning Commission initiates text amendment.
<i>July 15, 2020</i>	RDC Study Session to review draft document.

## Overview

The Gilbert Heritage District (the District) is approximately 0.3 square miles in size and serves as the community's downtown. The District is the community's original town site and represents the cultural and historical center of the community.

The intent of the Heritage District Design Guidelines is to foster design excellence that encourages a dense, pedestrian-oriented, high quality and lively environment that serves as the community's living room. The guidelines are meant to be adaptable to provide opportunities for truly exceptional and creative solutions which improve the District.

In 2010, Town Council adopted a set of Heritage District Design Guidelines intended to:

- Build and expand on the Town's existing policies as expressed in the General Plan, Land Development Code and the Redevelopment Plan
- Maintain and build upon the unique sense of place and character in the Heritage District
- Communicate the Town's design expectations for the District to facilitate the review process for owners and applicants, the Redevelopment Commission and staff

In 2018, the Town Council adopted an updated Heritage District Redevelopment Plan. The objective of the document is to identify and prioritize short, middle, and long-term goals for the Heritage District over the next 10 years.

Leading up to and throughout the Redevelopment Plan process, there was extensive public outreach including meetings with the Chamber, the Heritage District Merchants, Stakeholders, the Technical Committee, and public meetings, as well as the online survey which produced 4,000 responses.

All of that input gathered during the five-year outreach has been organized and broken down into recurring categories:

- |                                   |   |   |
|-----------------------------------|---|---|
| • Open space                      | • Boutiques                                 | • Restrooms & water stations                      |
| • Quaint unique buildings         | • More residential focus                    | • Encouraging the arts                            |
| • Farming heritage                | • Guidelines for alleyways                  | • Good lighting                                   |
| • Historic preservation           | • Character and culture                     | • Multi-family with cottage or rowhouse aesthetic |
| • Western architecture            | • Arcades & canopies that fit the character | • No gated multi-family                           |
| • Better traffic flow & access    | • Authentic neighborhood feel               | • Shading   |
| • Bike paths                      | • Pedestrian focus                          | • Safety  |
| • Directional signage             | • Charm                                     | • View of the water tower                         |
| • Pedestrian friendly             | • Addressing crime                          | • Family friendly                                 |
| • Greenery                        | • High, wide open seating areas             | • Minimize surface parking                        |
| • Uniformity of on-street parking |   | • Bike parking                                    |

## 2020 Design Guideline Updates

The purpose of design guidelines is to provide recommendations towards good practice in design for both developers and residents. The American Planning Association describes design guidelines as inspirational and educational recommendations to open possibilities and challenge people to make better buildings.

The 2010 Design Guidelines provided an exceptional baseline for the update but was at times hard for developers and residents to follow, was text laden as opposed to providing clear visual direction and needed updates to match development standards for today and into the future. As such, a set of goals was developed for the 2020 Design Guidelines to be:

- Comprehensive and begin to solve challenges faced by all departments
- Easy to navigate
- More visual to demonstrate what the Town is trying to achieve
- Innovative – think of the future evolution of the Heritage District
- Efficient and succinct

Staff reviewed more than 20 sets of design guidelines from across the US and selected a few to serve as best practices which met the above stated goals. The Watertown, Massachusetts and Bethesda, Maryland design guidelines became guiding examples of well-organized, clear communication of ideas with well depicted street cross sections and streetscape vernacular.

Gilbert initiated the Design Guidelines amendment in the winter of 2019 and held a meeting with the Technical Committee comprised of Gilbert staff and with a stakeholder group comprised of residents, business owners, property owners, developers, a member of the Redevelopment Commission and the Council Liaison. Requests from the committee members were part of three overarching categories: retaining the current 55' height, retaining the historical character of the District and providing flexibility so that developers and residents can bring forth the best designs possible. As such, there are no requested changes in height, historical character is preserved along Gilbert Road. To allow for architectural flexibility, the 3<sup>rd</sup> floor stepback requirements have been modified to only be applicable along the perimeter of the District when adjacent to single family residential zoning.

In the spring of 2019 staff made initial text edits based on the kick-off meetings with the intention to bring the text amendments and updated guidelines to the committees. It was at this time, staff decided that if the design guidelines were to be user friendly and to challenge developers and residents to achieve high quality design, they needed more than “inspirational imagery”. From May 2019 – September 2019, staff overhauled text and laid the foundation for image-based design guidelines. From October 2019 – April 2019, staff worked with Architekton, to develop axonometric images for each of the street sections, neighborhoods and public spaces.



**FORMAT:**

The design guidelines include four sections:

- Blend (Commercial Development Projects)
- Congregate (Public Space Projects)
- Dwell (Residential Development Projects)
- Create (Appendix)

The sections related to development or projects include:

- A description and adjectives describing the experience
- An axonometric image visually demonstrating the anticipated development standard/quality
- Inspirational imagery
- Requirements for each area of development

As depicted in the Design Guidelines, the Heritage District is not meant to be homogenous, but rather celebrate each unique area based on its needs and future development. Common themes are woven throughout the district to ensure that it retains the unique feel and charm it has today while allowing it the ability to grow and mature.

**LAND DEVELOPMENT CODE UPDATES**

The only Land Development Code update that would be required based on the updated design guideline is to setbacks.

- Removed 3<sup>rd</sup> floor 1:1 building setback requirement except for projects which are located on the perimeter of the Heritage District, adjacent to single family residential neighborhoods. In this case, a 10' setback required at the 3<sup>rd</sup> floor would be required.
- Build-to-lines, transparency, storefront access will now be addressed in the Design Guidelines instead of the LDC.
- Some streetscape plant material requirements have been modified to reflect the Design Guideline images.

**REDEVELOPMENT PLAN UPDATES**

During the Design Guideline rendering and review process it became apparent that some of the street cross-sections from the Master Plan would require modifications. Once input has been received from the Redevelopment Commission, Planning Commission and committees regarding the Design Guidelines, staff will work within the requirements of the Arizona Revised Statutes and with the Town's engineering and legal team to determine if the modification are considered "substantial" or minor. This determination will guide the Town regarding changes that can be made directly as opposed to changes that require a public process for adoption.

## **NEXT STEPS**

Barring any major changes from Redevelopment Commission, Planning Commission, the Technical Committee and Stakeholder Committee, below is a timeline for adoption

- August 19, 2020 – Redevelopment Commission Recommendation Public Hearing for recommendation to Planning Commission for adoption.
- September 2, 2020 – Planning Commission Public Hearing for recommendation to Town Council for adoption.
- September 15, 2020 or October 13, 2020 – Town Council decision

## **PUBLIC INPUT**

Staff has received input requesting clarification regarding the residential alleys (Mews) widths. No additional new right-of-way is planned. The 3' buffer depicted is a setback for the safe ingress and egress of vehicles from garages and carports.

There has also been some input regarding plant material in the Heritage District. There has been a comment opposed to oleanders on the plant list

## **REDEVELOPMENT COMMISSION STUDY SESSION INPUT**

Commissioner Jones provided comments on clarification on transparency, he thought there was a disconnect in the description and the graphic of Connect,

Commissioner Jones asked why more height wasn't provided

Commissioner Jones asked about providing additional lighting on the Mews and the Canal Trail.

Commission Jones would like more trees in Veterans Park.

Commissioners stated that the Commons area in Heritage North needs visibility from Gilbert Road.

Commissioners supported additional height within the heritage district.

Chair Sciacca asked for more information regarding the Flex Alley art wraps. Amanda Elliott noted that murals are allowed on buildings as long as they do not have signage.

Commissioner Hamilton had been involved with the 2010 Design Guidelines and noted this revision is night and day in comparison for the better. This is phenomenal and comprehensive.

Commissioner Hamilton asked for a summary of the top two or three comments or requests from the initial Stakeholder meetings. Amanda Elliott stated there were two to three items that were really critical to the public, including the stakeholder meetings. The first was to ensure that we retain our historic character and the character of the Heritage District. The

second main concern of residents and business owners in the area was limiting height, which is currently 55 feet. Some developers in the kick-off meeting were concerned with stepbacks and the ability to truly have a building and making it pencil. The stepbacks was removed internal to the HVC except when adjacent to single family residential or the HVC external boundary.

Doralise Machado Liddel, Gilbert resident in the Lacy Tract, noted the alley dimensions depicted at 3 feet, 15 feet, 3 feet. Chair Sciacca felt Ms. Machado Liddel's comments were well-received and noted. Amy Temes responded that the 3' represented the apron required between the alley and a garage door. Residents may choose to plant landscape, but it is not required. The lights depicted will have to be removed so no additional easements or right-of-way would be required.

#### **REQUESTED INPUT**

Staff is requesting the Redevelopment Commission provide comprehensive input regarding the update to the design guidelines.

**Respectfully submitted,**



**Amy Temes**  
**Principal Planner**

**Amanda Elliott**  
**Redevelopment Program Manager**

#### **Attachments and Enclosures:**

- 1) Heritage District Design Guideline, Draft Document



# HERITAGE DISTRICT DESIGN GUIDELINES

**DRAFT** June 2020



# Heritage District Design Guidelines DRAFT 2020

## FOR MORE INFORMATION

Contact the Office of Economic Development  
regarding the Design Guidelines or activities  
in the Heritage District

Gilbert Office of Economic Development  
90 E. Civic Center Drive  
Gilbert, AZ 8529

480-503-6700 voice  
econdev@gilbertaz.gov

[gilbertedi.com](http://gilbertedi.com) | [gilbertaz.gov](http://gilbertaz.gov)

# Acknowledgments

## MAYOR & COUNCIL

Jenn Daniels, Mayor  
Scott Anderson, Vice Mayor  
Yung Koprowski, Councilmember  
Scott September, Councilmember  
Bill Spence, Councilmember  
Jared L. Taylor, Councilmember  
Aimee Yentes, Councilmember

## TOWN MANAGER

Patrick Banger

## ECONOMIC DEVELOPMENT

Dan Henderson  
Amanda Elliott

## PLANNING DEPARTMENT

Eva Cutro  
Amy Temes

## TECHNICAL COMMITTEE

Dana Berchman  
Rajnish Gupta  
Jim Jobusch  
John Kennedy  
Jessica Marlow  
Kyle Mieras  
Giao Pham  
Michael Soelberg  
Susanna Struble  
Curtis Yardley

## REDEVELOPMENT COMMISSION

Peter Sciacca, Chair  
Tyler Hudgins, Vice Chair  
Ryan Hamilton  
Boe Bigelow  
Tyler Jones

## PLANNING COMMISSION

Brian Andersen, Chair  
Carl Bloomfield, Vice Chair  
David Cavenue  
Noah Mundt  
Jän Simon  
Philip Alibrandi-Alternate  
Nathan Mackin-Alternate

## STAKEHOLDER COMMITTEE

Amanda Aviles  
Judy Beasley  
David Beckham  
Brad Bigelow  
Colin Brown  
Ben Cooper  
Mary Ellen Fresquez  
Claire Jones  
Curtis Kelner  
Kayla Kola  
Doralise Machado Liddel  
Kevin McKiernan  
Brian Moore  
Jerry Regier

## CONSULTANTS

Architekton





# Table of Contents

---

- 1 Introduction** *(Objective and Use of Guidelines)*
- 2 Blend** *(Commercial Development Projects)*
- 3 Congregate** *(Public Space Projects)*
- 4 Dwell** *(Residential Development Projects)*
- 5 Create** *(Appendix)*



# Objective and Use of Guidelines **DRAFT 2020**

## **The purpose of this document is to:**

- a) Facilitate the review process by communicating to the development community the design expectations for projects within Gilbert's Heritage District (as defined by the District boundaries identified within the Heritage District Redevelopment Plan)
- b) Facilitate the fair and consistent application of design objectives
- c) Protect investment in the community by encouraging consistently high quality development
- d) To achieve high-quality built form
- e) To promote development that is compatible with and complements its surroundings
- f) To foster compact, pedestrian-oriented development linked to street level amenities
- g) Facilitate safe, comfortable, functional and attractive development
- h) Encourage development of shaded outdoor spaces for the use and benefit of residents, employees and visitors
- i) To accommodate varied uses including retail, commercial office, education and residential where one can live, work, shop and play
- j) Foster a sense of place and pride in visiting, working and living in the District
- k) Enhance the quality of life for all residents in the area
- l) Provide residents with a connection to the community's roots and history

## Objectives:

The guidelines are intended to promote continuity of the historic character of the District, strengthen its pedestrian environment, create a compact and diverse downtown, establish high quality architecture, create a distinct District landscape character, create coherent and consistent street spaces, and ensure that off -street parking does not impact the historic character of the area by promoting:

- a) Renovations and new construction that strengthen and maintain the early 20th century integrity of individual buildings and of the District at large
- b) Compact development so that buildings are located closer together along pedestrian-friendly streets and enclosed public places to create interest
- c) Narrow streets designed for slower speed, creating a safe, attractive environment for all transportation modes (pedestrians, bicycles, buses and cars)
- d) Street-oriented building fronting directly onto sidewalks with ground-floor transparency, pedestrian orientation, storefront massing, and entries to the street, creating a sense of enclosure and safety by providing visual contact (doors and windows) with the street
- e) Interconnected streets to provide for better dispersal of traffic and curbside parallel parking located on the street, which helps create a buffer between pedestrians and the street
- f) An urban environment that supports social interaction and is focused on the health of neighborhoods within and adjacent to the Heritage District as social units
- g) Quality and varied architectural character that respects the district's unique historic themes
- h) Alleyways that are immediately recognized as a flexible pedestrian/auto environment

# Objective and Use of Guidelines **DRAFT 2020**

## Applicability

The standards and guidelines set forth in this manual apply to all commercial, residential and public properties within the Gilbert Heritage District. To achieve these purposes, the Guidelines apply to all new developments and substantial building alterations that require Redevelopment Commission, Planning Commission, Town Council or administrative review by Town staff. These guidelines shall be used by developers and architects when designing projects, referenced by the Redevelopment Commission and Planning Commission when evaluating projects and by the Town Council when hearing appeals. These guidelines are also to be used by staff when reviewing applications in the Heritage District.

## Use of Guidelines

The discretionary provisions set forth in this document identify the desired level of design quality for commercial and residential development. Flexibility and innovation is necessary and encouraged to achieve excellent designs. Each application for Heritage District development should demonstrate to what extent it incorporates these guidelines.

The Redevelopment Commission may approve alternative design approaches that foster design excellence and better meet the intent of the guidelines. Applications that do not meet specific guidelines applicable to that project should provide rationale and explain how the proposed project contains equally good or superior design elements that are not identified in these Design Guidelines yet better meets the intent of the General Plan policies, Heritage District Redevelopment Plan, Land Development Code's provisions, and these Guidelines. The determination as to whether a project provides an improved design will be made through the design review findings required by the Land Development Code as determined by the Redevelopment Commission.

## Commercial Development Projects

Proceed to Chapter 2 – Blend.

This section provides built environment guidelines by Street Type.

1. Identify the location of your building on the map to determine the street type your building fronts
2. Proceed to the associated street type to review the design guideline requirements.
  - a. If your Development fronts multiple streets, follow the street section for each frontage and provide transitions in the case where two street sections meet.
  - b. If your development is adjacent to a public space, reference the public space requirements in Chapter 3 – Congregate.

## Public Space Projects

Proceed to Chapter 3 – Congregate.

This section outlines the requirements for public spaces and projects fronting public spaces.

1. Identify the public space
2. Proceed to the associated public space to review the design guideline requirements
3. Reference the Blend cross-section to better relate with the surrounding environment.

## Residential Development Projects

Proceed to Chapter 4 – Dwell.

This section outlines the design guidelines by residential neighborhoods.

1. Identify the location of your home on the map
2. Proceed to the associated residential neighborhood for the design guideline requirements.
  - a. If the location of your home is adjacent to a residential alley, reference the street requirements in Chapter 3 – Congregate: Mews
  - b. If the location of your home is adjacent to a commercial alley, reference the street requirements in Chapter 3 – Congregate: Flex Alley





**12 Blend Overview**

**14 Historic**

**18 Active**

**22 Connect**

**26 Festival**

**30 Local**

**34 Flex Alley**

**38 Mews**

Design management of  
a safe circulation network  
and authentic character  
throughout all street types.

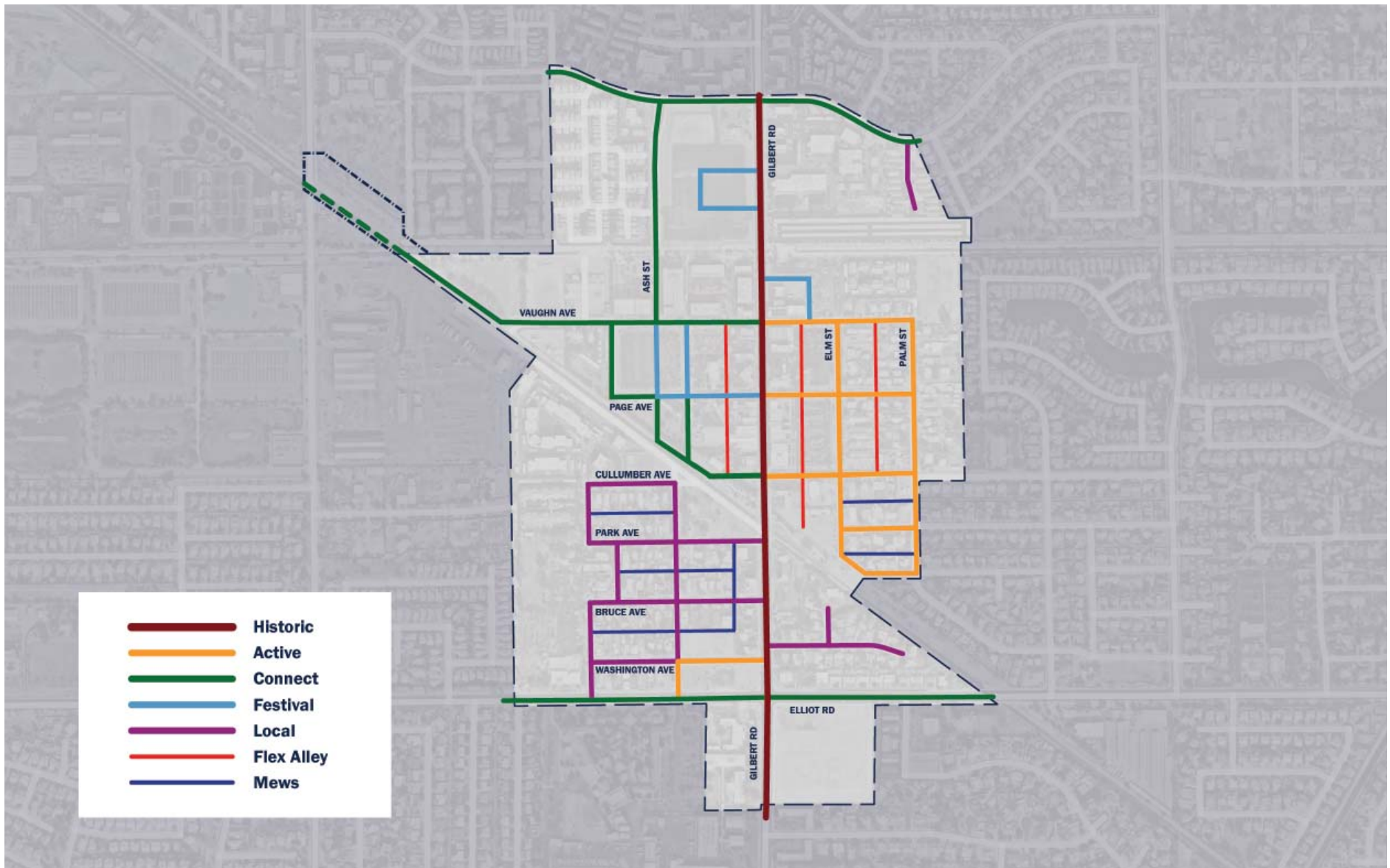
## Blend Overview

Design management of the Heritage District will ensure that the downtown can achieve the benefits of an intensified, highly functional, mixed-use center without impacting its intimate atmosphere and historical context.

The street sections provide a framework for the circulation network which focuses on pedestrians while ensuring a safe, direct and convenient route for all modes of transportation.

\*Developments that front multiple streets should follow the street section for each frontage and provide transitions in the case where two street sections meet.







# Historic

Early 20th-century main street highlighting the pedestrian experience while also supporting traffic volumes. Design should respect the historical significance of the area.

## EXPERIENCE

### Iconic

(window displays, historic turn of the century architecture, historic lighting)

### Active

(outdoor seating and retail activity)

### Friendly

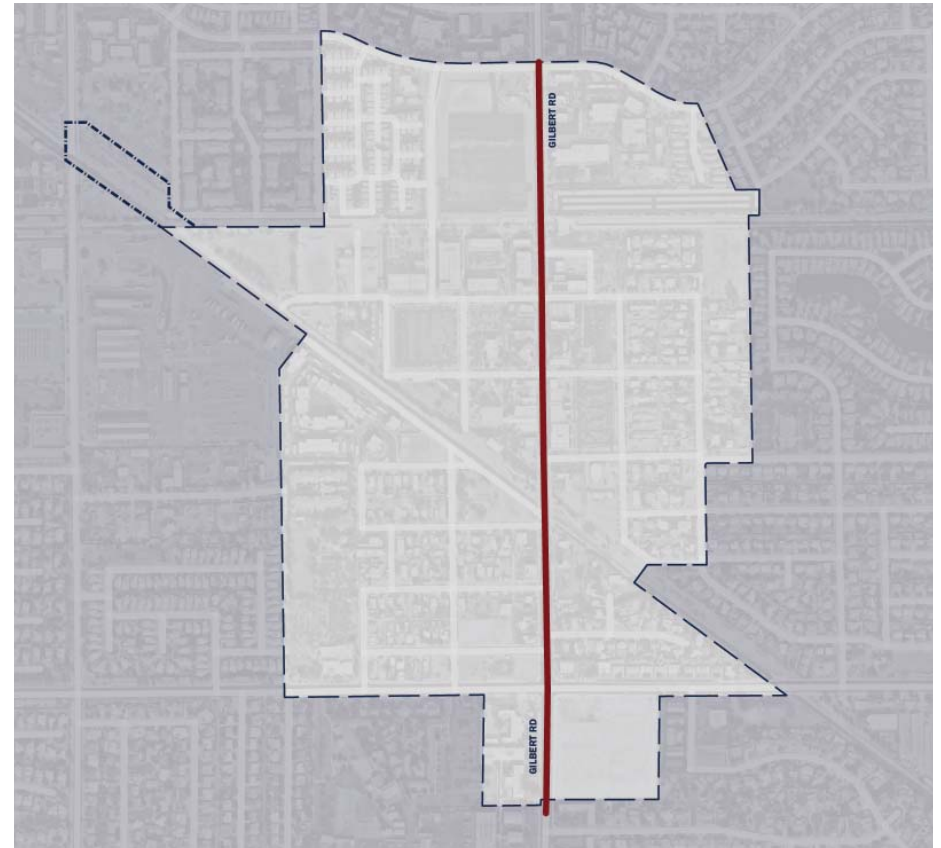
(pedestrian interaction)

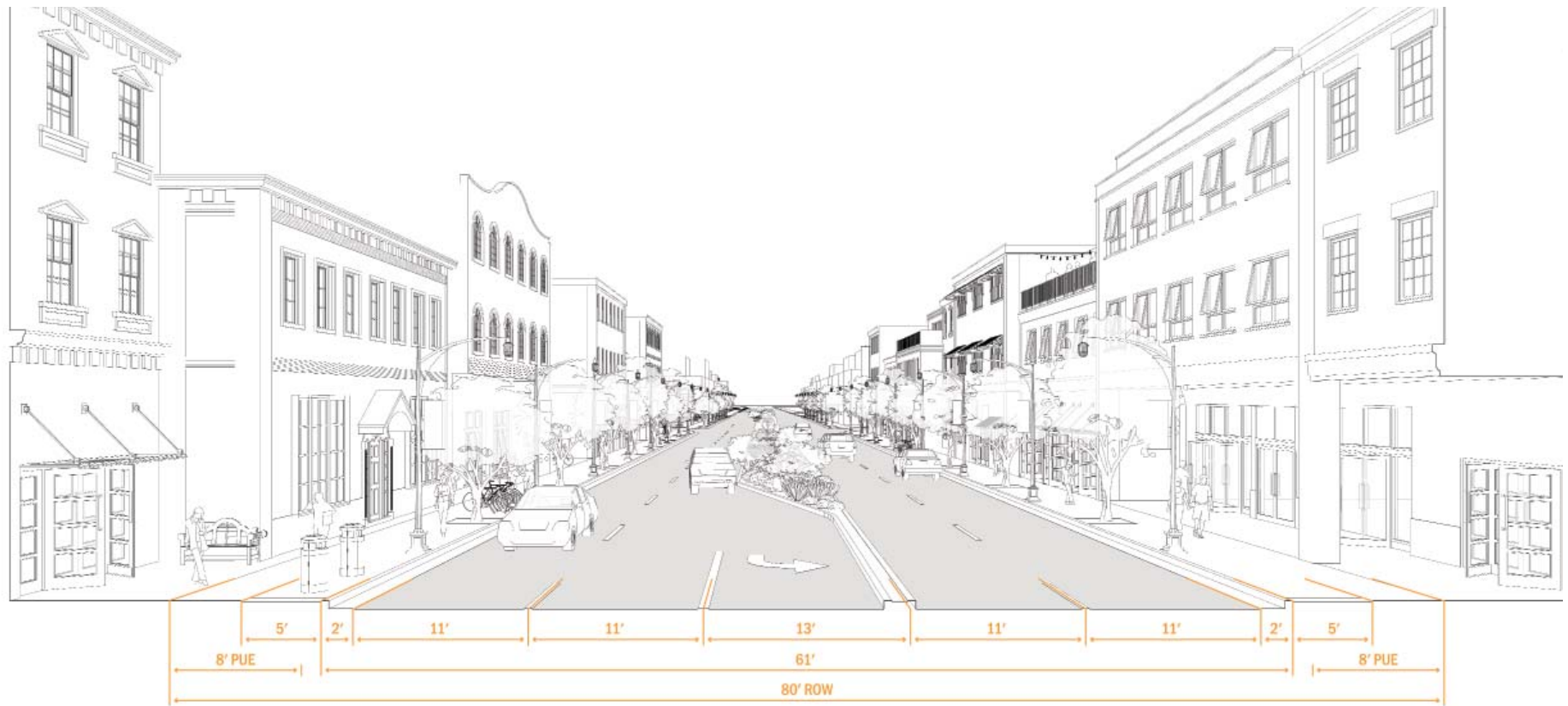
### Interpretive

(art and culture significant of Gilbert history)

### Welcoming

(entrance features, light pole banners, Heritage District branding)





# Historic

## Environment

- Minimum 8' walkway
- Buffer pedestrians from traffic
- Gilbert factoids painted on the ground or integrated public art
- Awning, canopies or trees for shade
- Street furnishings where sidewalk dimensions are greater than 8'
- Historic light poles with banners
- Misters and other climate control design
- Incorporate wayfinding
- Balconies and terraces focused towards the street
- Active ground floors oriented to sidewalk
- Historic stylized projecting signs
- Large areas of first floor transparency (50% minimum)
- Entry doors and patios should not impact the 8' pedestrian walkway
- Retractable walls
- Architecturally appropriate windows and building articulation
- Frequent and distinctive entrances
- Patios along street
- High quality materials that contribute to the pedestrian experience and reinforce the History of Gilbert
- Historic architecture

## Move

- No on-street parking
- Restricted curb cuts
- No on-street stopping
- No bicyclists or micro mobility
- Limited bus stops
- No visible surface parking

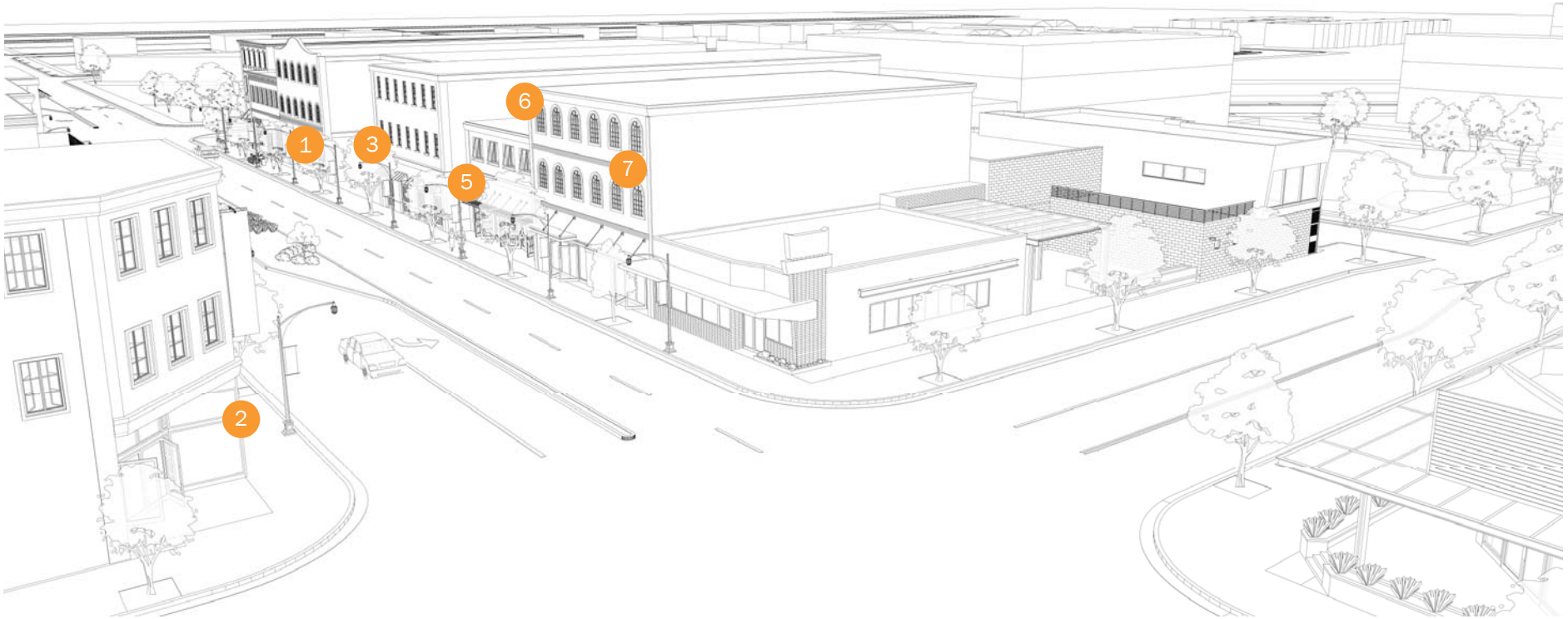
## Service

- Trash services accessed from rear alley
- All mechanical equipment shall be roof mounted and architecturally screened
- Trash receptacles where space allows
- Grease bins internal to facility
- Deliveries off of alleys
- Loading and refuse collection should occur after peak hours
- Utilization of Heritage District shared trash preferred when available
- Limited access to alleys, parking garages and parking lots

## Massing

- Facades should vary every 30' – 50'
- Encourage compact zero lot line design
- Entries should be easily identified by architectural accents or massing
- Single story permitted when renovating an existing building but must have significantly distinctive historic architecture
- Two to three story preferred
- Historic vertical and horizontal articulation
- Design signature architectural features at intersection corners with building entries





1 Misters and other climate control design

2 Large areas of first floor transparency  
(50% minimum)

3 Awning, canopies or trees for shade

4 High quality materials that contribute  
to the pedestrian experience and  
reinforce the History of Gilbert

5 Facades should vary every 30' - 50'

6 Encourage compact zero lot line design

7 Historic vertical and horizontal articulation

## Active

Active streets present a mix of uses including office, retail and residential with a focus on walkability. These streets are supported by tree canopies and greenery.

### EXPERIENCE

#### Walkable

(people strolling with dogs on leashes)

#### Shady and green

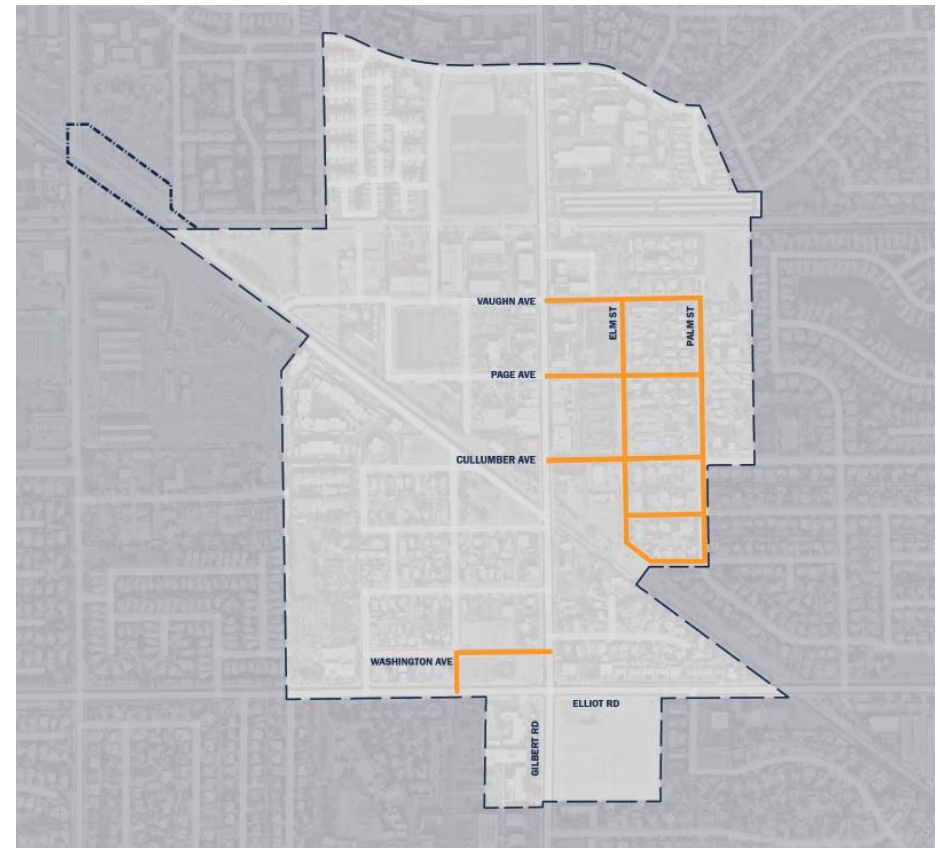
(lots of trees and shrubs)

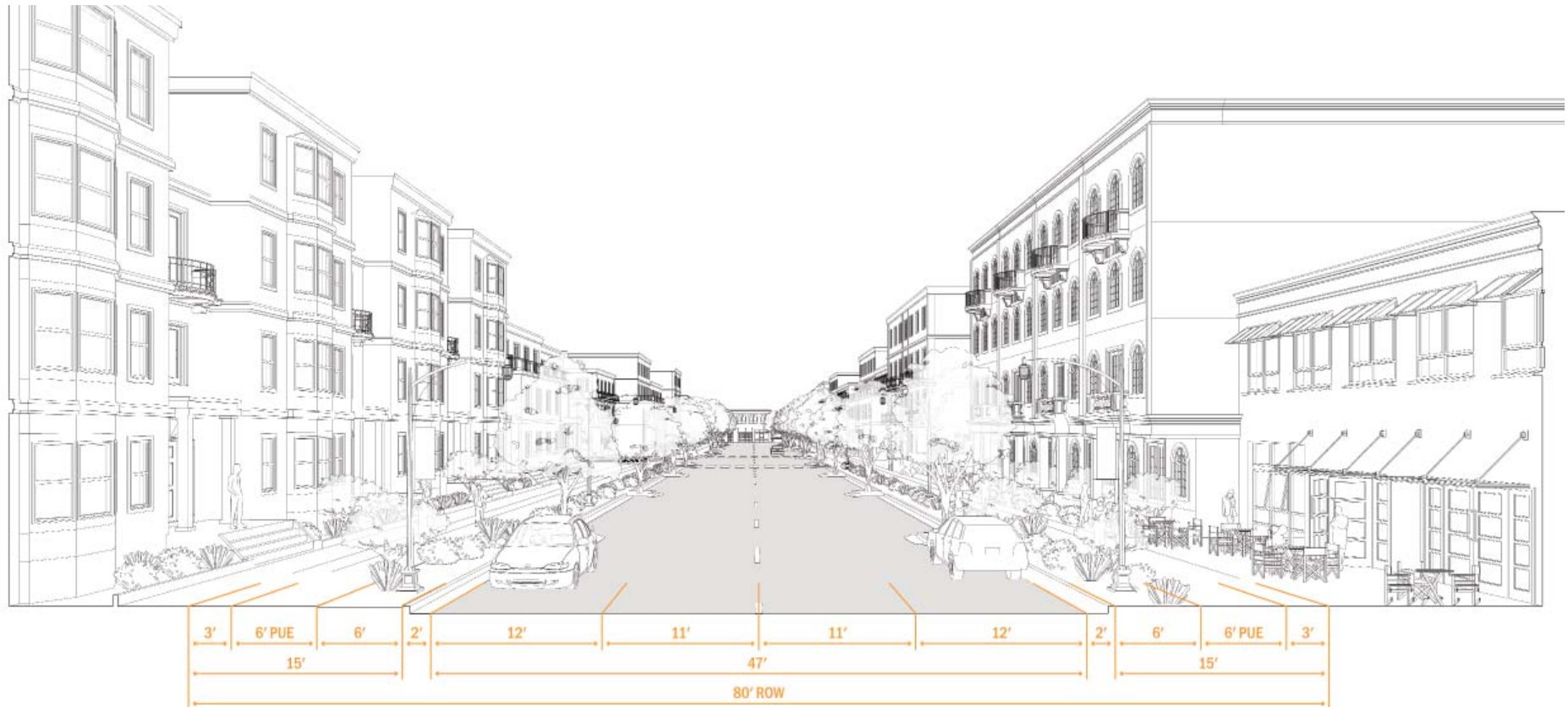
#### Quiet

(people sitting on benches)

#### Charming

(subtle architectural character with balcony seating or people sitting on stoops)







# Active

## Environment

- Street trees in grates
- Historic light poles with banners
- Potted plants and hanging baskets
- Café furniture allowed where sidewalks are greater than 8'
- Wide sidewalks
- Street furniture
- Balconies and terraces facing the street
- Sidewalk buffered from street with landscape
- Detailed first floor articulation with texture and patterns
- Individual doors facing the streets may not impact public sidewalk
- Non-residential uses require 75% transparency. Residential uses 50% transparency required
- Mixed use and residential character

## Move

- Required garages and parking off alleys
- 6' sidewalks minimum
- Curbside passenger loading / delivery zones / short term parking

## Service

- Flexible loading zones
- Bicycle parking
- Loading and refuse collection should occur after peak hours
- Internal grease bins

## Massing

- Pedestrian scale
- Facades should horizontally vary every 50' to 80' to create obvious movement
- Vary vertical massing every 50' to 80'
- 2- 4 story preferred
- 10' stepback required at 3rd floor when located on the perimeter of the Heritage District



- 1 Balconies and terraces facing the street
- 2 Sidewalk buffered from street with landscape
- 3 Detailed first floor articulation with texture and patterns
- 4 Non-residential uses require 75% transparency. Residential uses 50% transparency required
- 5 Facades should horizontally and vertically vary every 50' to 80' to create obvious movement



# Connect

Connect streets provide low speed ventilation of vehicular traffic while promoting active ground use spaces that foster a welcoming pedestrian mixed use environment.

## EXPERIENCE

### Busy

(traffic, drop-off/pick-up, people coming and going)

### Shady

(trees and canopies)

### Interactive

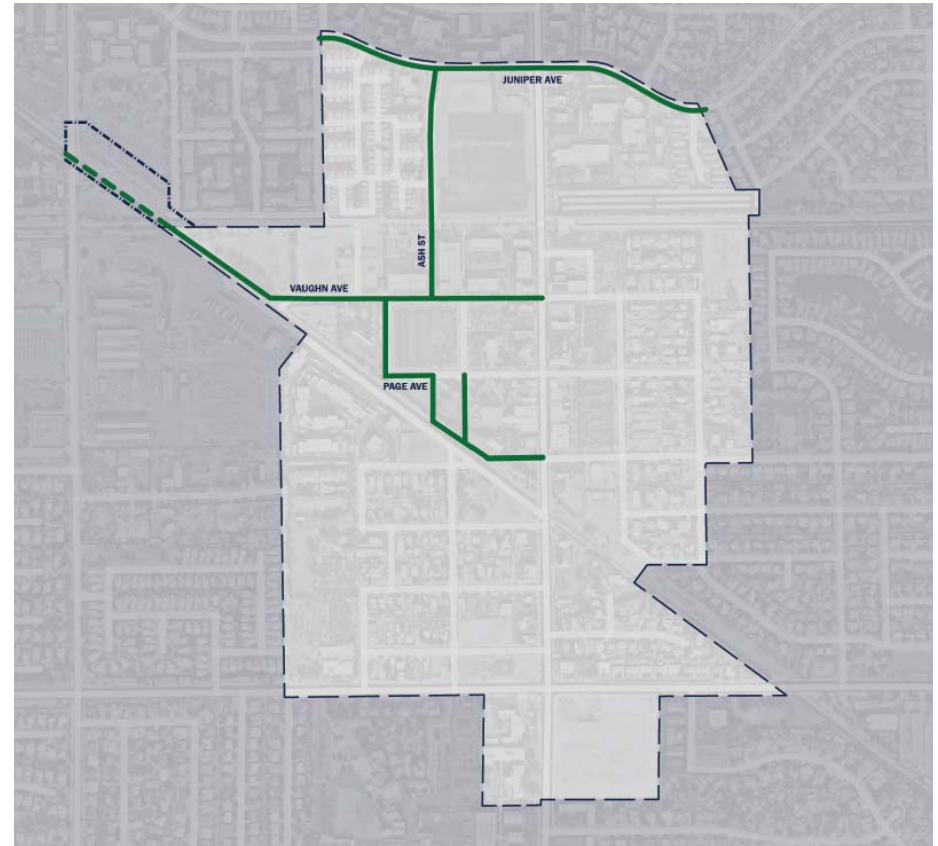
(people on balconies, decks with plants and people, outdoor cafes)

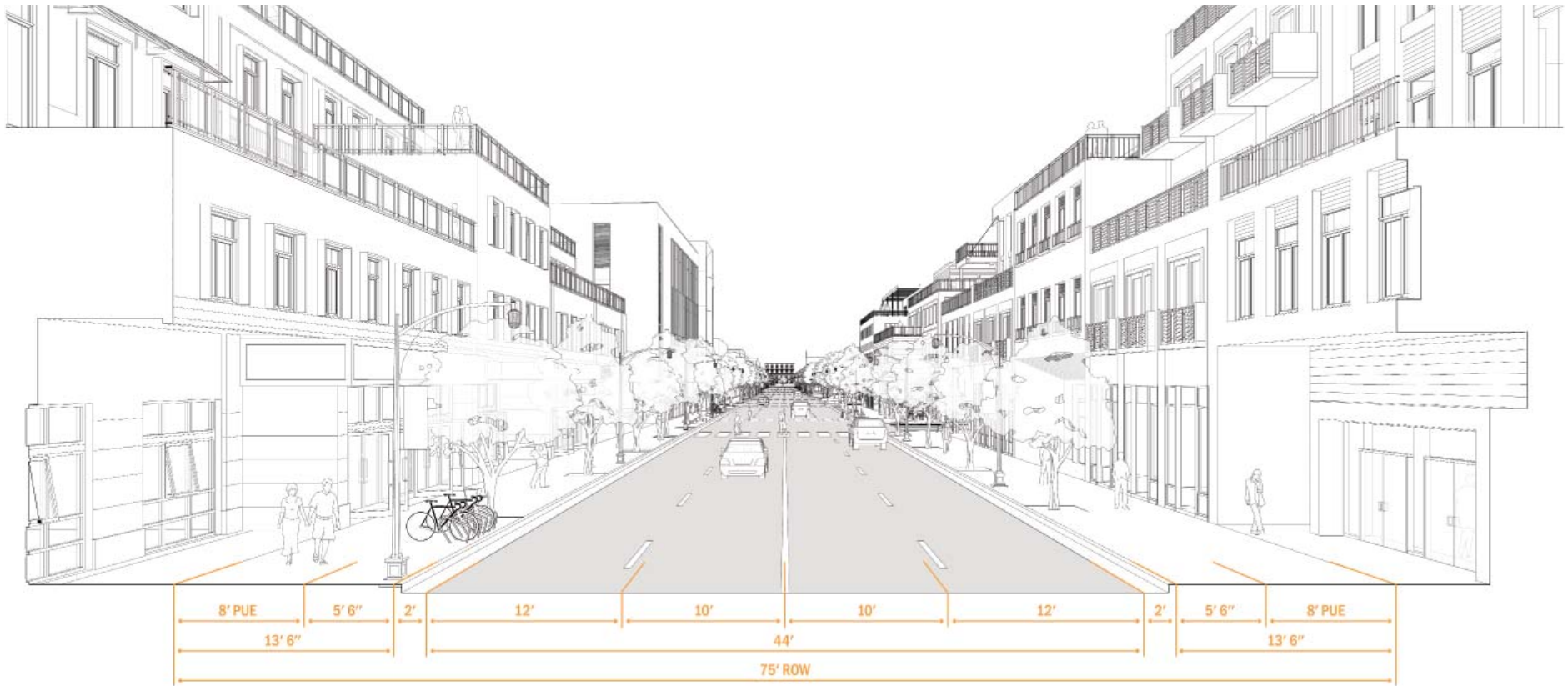
### Fluid

(moves traffic and is flexible to change based on time of day needs)

### Magnetic

(variety of shopping, entertainment, university uses to attract people)





# Connect

## Environment

- Urban streetscape with double row of trees in grates
- Street furniture
- Café seating
- Historic light poles with banners
- Entertainment, commercial and institutional uses that interface with the streetscape
- Decorative bollards as public art
- First floor articulation with timeless durable materials
- Active 1st floor or enhanced design to create interest
- 50% transparency
- Operable walls
- Minimize the width of driveways and entrances
- Door swings and outdoor café seating should not impede the minimum 8' pedestrian walkway

## Massing

- 3 and 4 story buildings
- 10' stepback at the 3rd floor when located on the perimeter of the district boundary
- Significant vertical and horizontal articulation every 30' to 50'
- Rooftop and at grade services should be architecturally integrated and screened
- Minimum setbacks encouraged

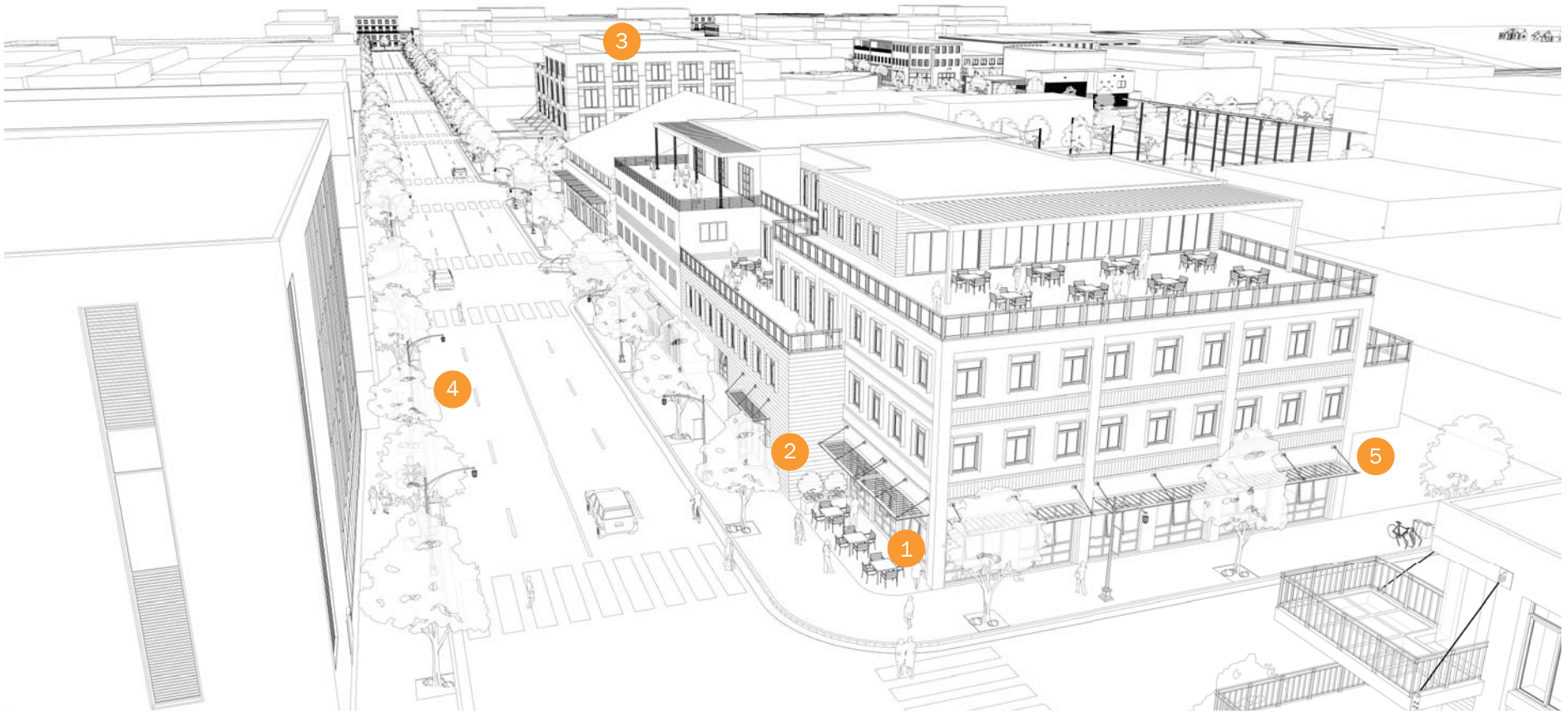
## Move

- Grouped bike parking
- Access to alleys, parking garages and parking lots
- Curbside delivery zones
- No on street parking
- Parking screened from streets
- Designated pedestrian loading zones
- Flexible lanes to allow for ebb and flow of user and event needs

## Service

- Avoid locating service areas facing existing residential
- Screen service areas and close decorative gates after hours
- Provide designated delivery zones
- Consolidated refuse in alleys or private lots
- All mechanical equipment shall be roof mounted and architecturally screened
- Internal grease bins
- Loading and refuse collection should occur after peak hours





- 1 Entertainment, commercial and institutional uses that interface with the streetscape
- 2 First floor articulation with timeless durable materials
- 3 Rooftop and at grade services should be architecturally integrated and screened
- 4 Flexible lanes to allow for ebb and flow of user and event needs
- 5 Consolidated refuse in alleys or private lots

# Festival

Low speed street with wide sidewalks and a curbless environment that promotes retail shopping, activity and events

## EXPERIENCE

### Vibrant

(people on balconies, roof decks, lots of people on the street)

### Illuminated

(signs, festival lighting, historic light poles)

### Appeals to all senses

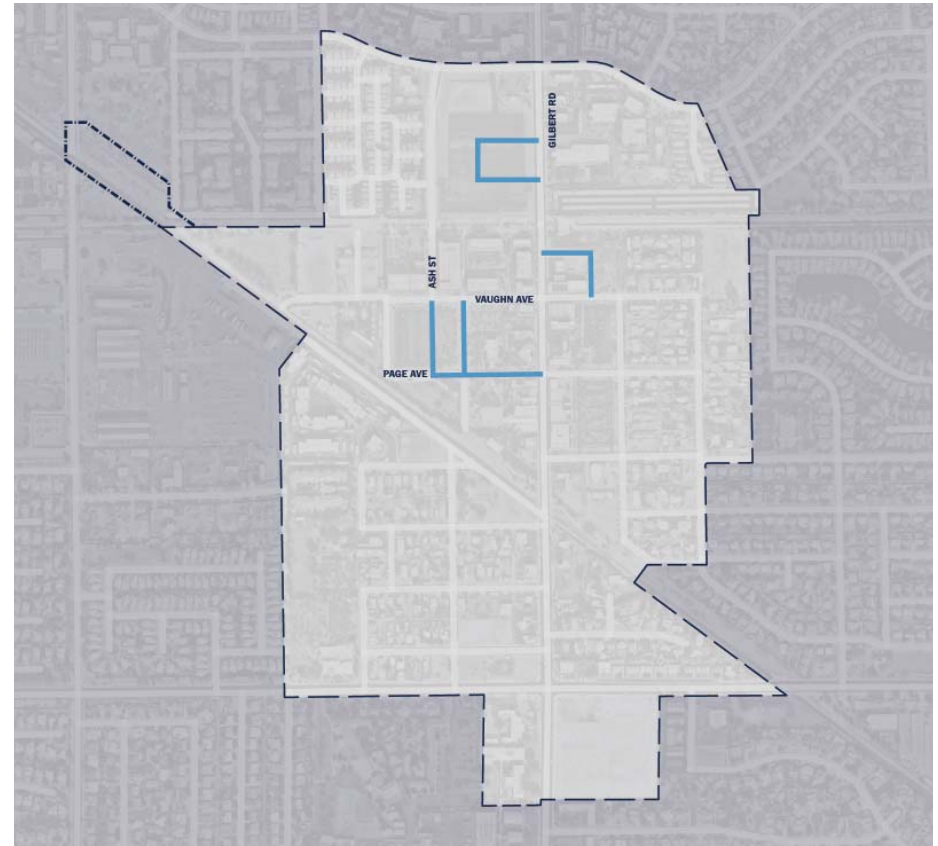
(banners, public art, vendors, street performers)

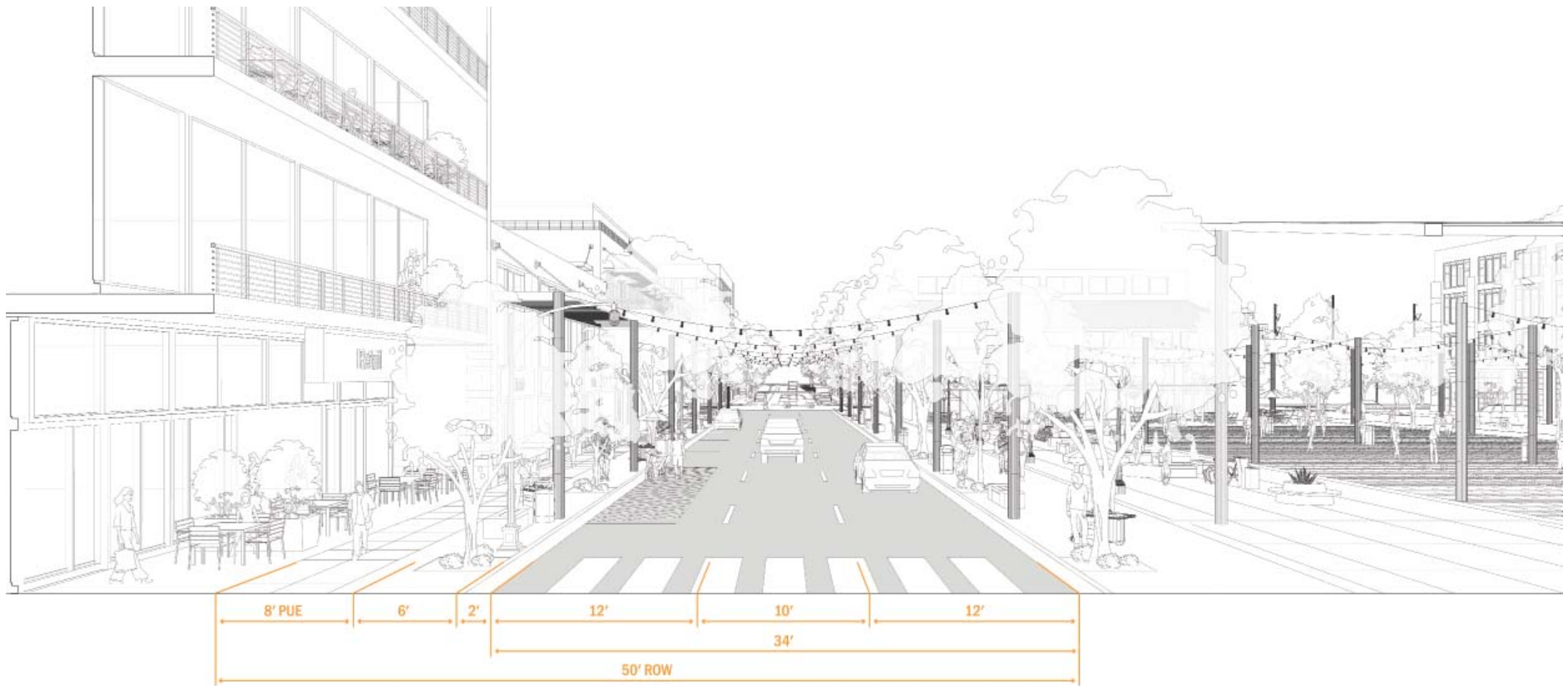
### Bustling

(activity, entertainment, shopping)

### Dynamic

(changing public space)







# Festival

## Environment

- Maximize pedestrian realm
- Overhead colorful shade sails at varying elevations extending over the sidewalk
- Banners on shade sail support poles
- Decorative bollards as public art and lighting
- Streetscape Seating
- Colorful and artistic storefronts and signage
- Shaded Pocket Courtyards/parks
- First floor articulation with colors and patterns
- Lights over street and plaza
- Colorful potted planters
- Entertainment uses encouraged
- Active storefronts, outdoor retail sales encourage
- Balconies, terraces and roof decks required overlooking the street
- Flush curb, limited grade changes to maximize flexibility
- Limit curb cuts
- Storefront 75% transparency
- Operable walls

## Move

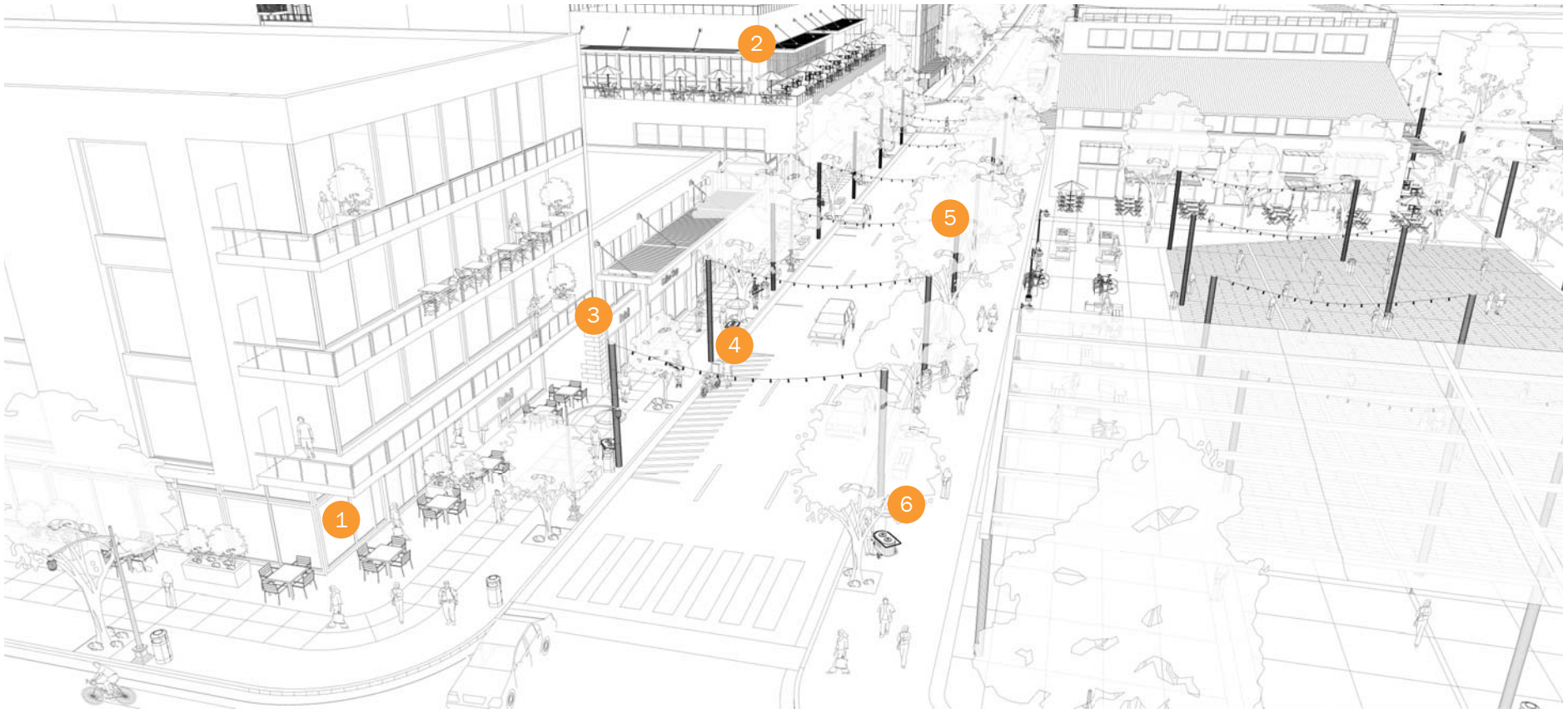
- Grouped bike parking
- Curbside ride share
- Required parking accessed from alleys
- Designated parkside vendor locations

## Service

- Consolidated trash or internal to facility
- Mechanical equipment shall roof mounted and fully screened
- Commercial deliveries from alley
- Residential deliveries from the street
- Internal grease bins
- Loading and refuse collection should occur after peak hours

## Massing

- 2-story and greater building massing required
- Significant balconies, decks, and catwalks required
- Vertical architectural articulation required
- Design signature architectural features at intersection corners with building entries



- |   |   |                                |
|---|---|--------------------------------|
| 1 Design signature architectural features at intersection corners with building entries | 3 Colorful and artistic storefronts and signage | 5 Lights over street and plaza |
| 2 Balconies, terraces and roof decks required overlooking the street                    | 4 Curbside ride share                           | 6 Parkside vendors             |



## Local

Not intended for through traffic, these streets contribute to a high quality of life for residents.

### EXPERIENCE

#### Community

(people walking their dogs,  
children on bikes, gardening)

#### Friendly

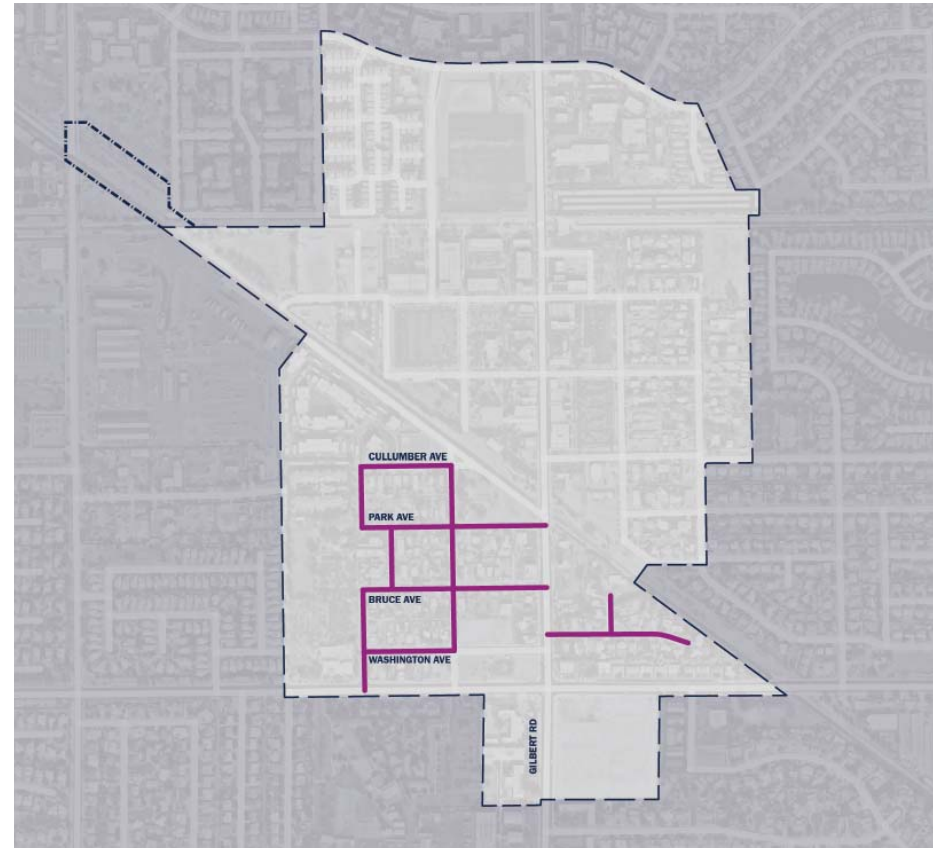
(neighbor interaction)

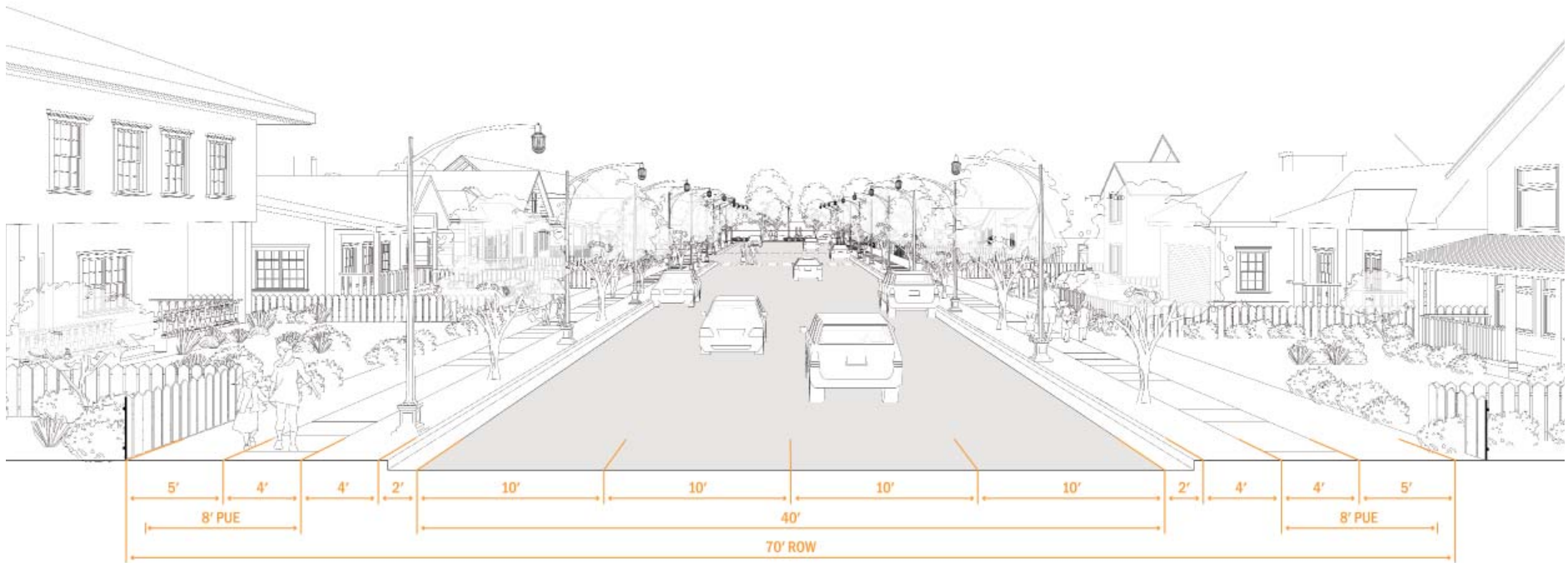
#### Quiet

(people sitting on a front porch)

#### Picturesque

(timeless neighborhood)





# Local

## Environment

- Street trees
- Wide sidewalks
- Tree lawn
- Historic architectural character tied to the period of the original plat or history of Gilbert
- Low front yard fencing
- Individual mailboxes
- 40% front transparency
- Horizontal and vertical movement
- Articulated walls

## Move

- Curbside parking
- Two way traffic
- Local traffic
- Children at play
- 4' to 6' sidewalks

## Service

- Curbside deliveries
- Curbside refuse pick-up
- Integrated solar as to not detract from the architectural style

## Massing

- 1 and 2 story single family homes
- Front yards, courtyards, stoops, and balconies encouraged
- Recessed attached or recessed detached garages
- Alley access optional





- 1 Street trees within a tree lawn
- 2 Historic architectural character tied to the period of the original plat or history of Gilbert
- 3 Curbside parking
- 4 1 and 2 story single family homes
- 5 Front yards, courtyards, stoops, and balconies encouraged
- 6 Recessed attached or recessed detached garages



# Flex Alley

Direct pathways which create a flexible environment allowing for deliveries and refuse collection at designated times and pedestrian thoroughfares and secondary entrances during other times.

## EXPERIENCE

### Busy

(delivery trucks delivering to buildings on at least one side, people passing through)

### Flexible

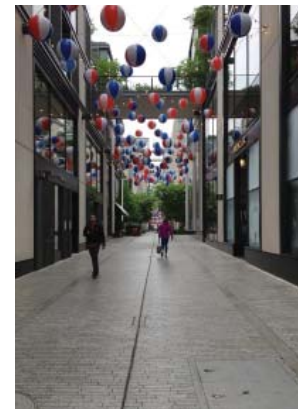
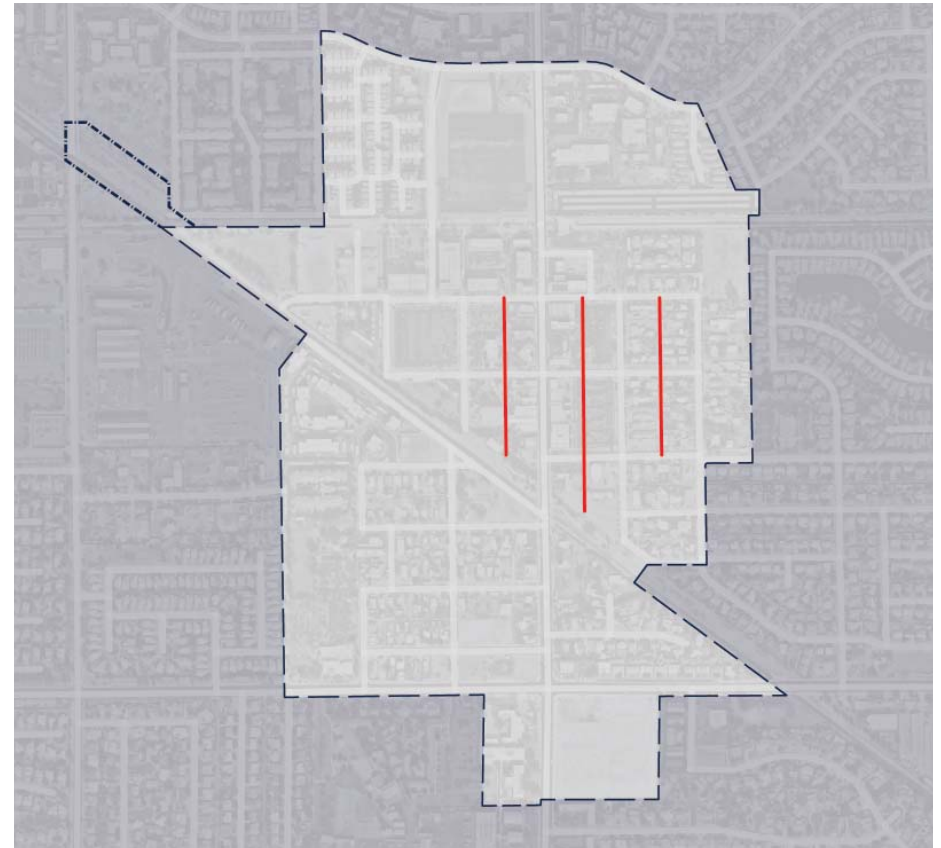
(designated delivery areas, secondary entrances)

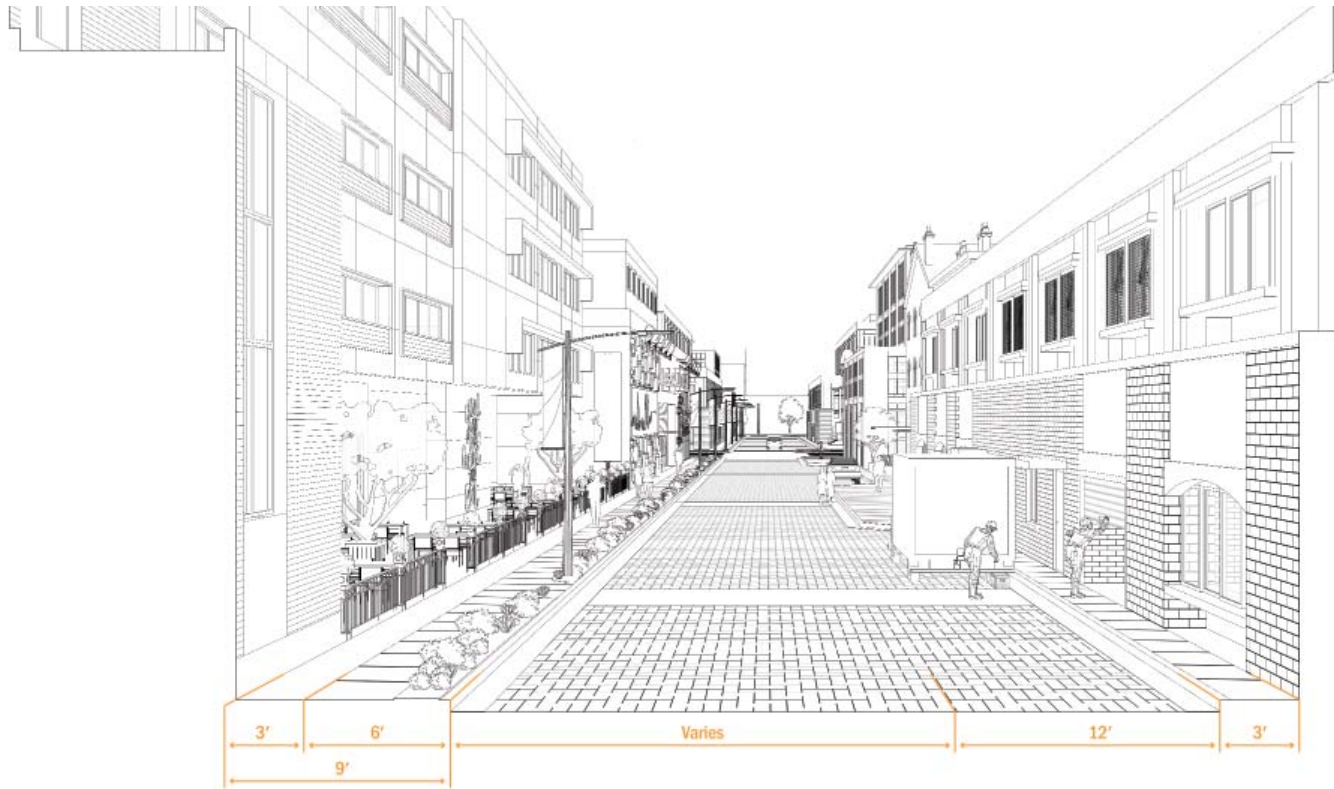
### Well lit

(lighting over doors and lighting by the sidewalk)

### Interesting

(murals, service door art wraps, secondary entrance canopies)





# Flex Alley

## Environment

- Unique paving
- Pedestrian scale lighting
- Secondary entrances
- Weather control over doorways that do not impede circulation
- Art wraps on doors
- Balconies and terraces optional
- Limited patio space - secondary entrance or artwork encouraged
- Entry doors should not impact the alley ROW/easement

## Move

- No parking; delivery and loading only
- Designated delivery zone times
- Designated pedestrian zone times
- No bicyclists or micro mobility
- Limited passenger loading and unloading
- No bus parking

## Service

- Trash services accessed from alley
- All mechanical equipment shall be roof mounted and architecturally screened
- Grease bins internal to facility
- Deliveries spaces noted with a change in specialty pavement

## Massing

- Limited horizontal articulation
- Encourage compact zero lot line design
- Historic vertical articulation
- 360 degree architecture





1 Pedestrian scale lighting

3 No parking;  
delivery and loading only

5 Deliveries spaces noted with a  
change in specialty pavement

2 Art wraps on doors

4 Trash services accessed from alley



# Mews

Alleys supporting residential needs with a focus on walkability. These pathways provide a clean safe environment for rear pedestrian, vehicular utility access.

## EXPERIENCE

### Comfortable

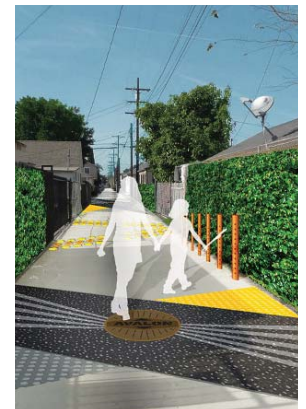
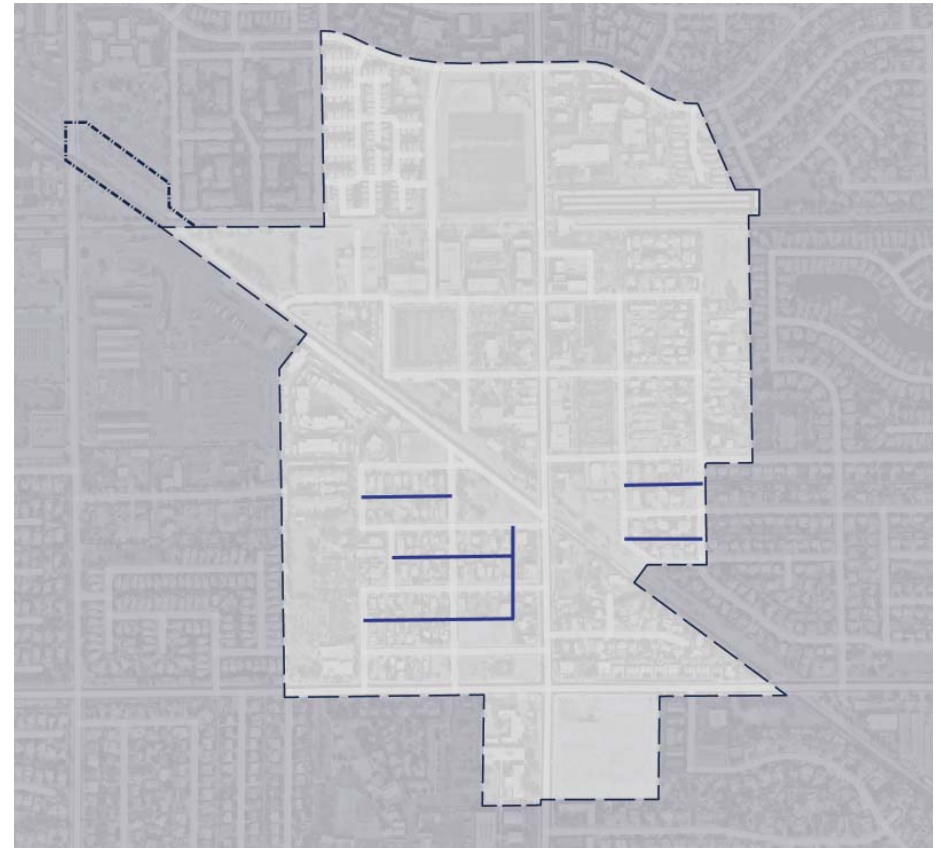
(gardens, wall murals, vines on walls)

### Safe

(pedestrian scale lighting and building lighting)

### Connected

(pedestrian and vehicular access)





# Mews

## Environment

- Limited to no landscape within the pathway
- Specialty pavement
- Themed alley art walls
- Vehicular access to garages and accessory structures
- Private gates allowed
- Shared pedestrian vehicular pathway
- Open or decorative alternative art fencing optional

## Interface

- Where buildings face the alley, windows and doors are encouraged
- Durable high quality materials
- Doors and gates should not impede the pathway easement/ROW

## Move

- Limited local traffic
- Children at play
- Shared pedestrian vehicular pathway
- Clear unencumbered access

## Service

- No solid waste service in the alley

## Massing

- 1 and 2 story single family homes or accessory structures
- Front yards, courtyards, stoops, and balconies encouraged
- Recessed or detached garages with a 3' apron





1 Limited to no landscape

3 Shared pedestrian vehicular pathway

5 Front yards, courtyards, stoops, and balconies encouraged

2 Access

4 1 and 2 story single family homes

6 Recessed attached or recessed detached garages





# CONGREGATE

---

**44 Congregate Overview**

**46 Water Tower**

**50 Paseo**

**54 Veterans**

**58 Commons**

**62 Legacy**

**66 Living Room**

**70 Western Canal**

The District offers safe and accessible places for pedestrians first and foremost. Urban public spaces are human-scale and well maintained.



## Congregate Overview

As the Heritage District is the cultural and historical center of the Gilbert Community and ultimately acts as the community living-room, the pedestrian environment and ability for residents and visitors to gather is critical to the District's success.

The urban spaces are well maintained, human-scale and accessible places for passive and active recreation.







# Water Tower

As the first town purchase, the Water Tower was built in 1927. The plaza serves as the symbolic heart and cultural center of the community.

## EXPERIENCE

### Playful

(organized activities)

### Interactive

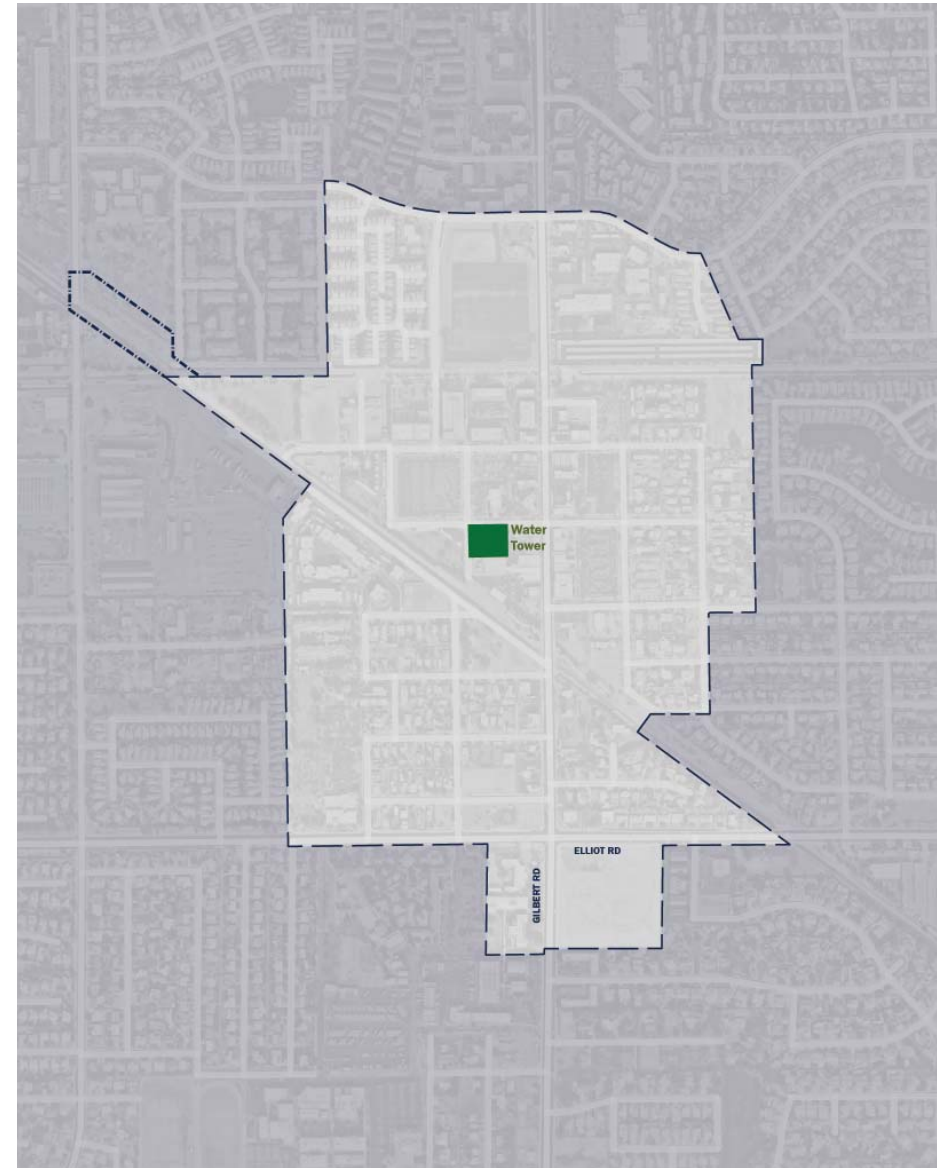
(public art, games, splash pad)

### Historic

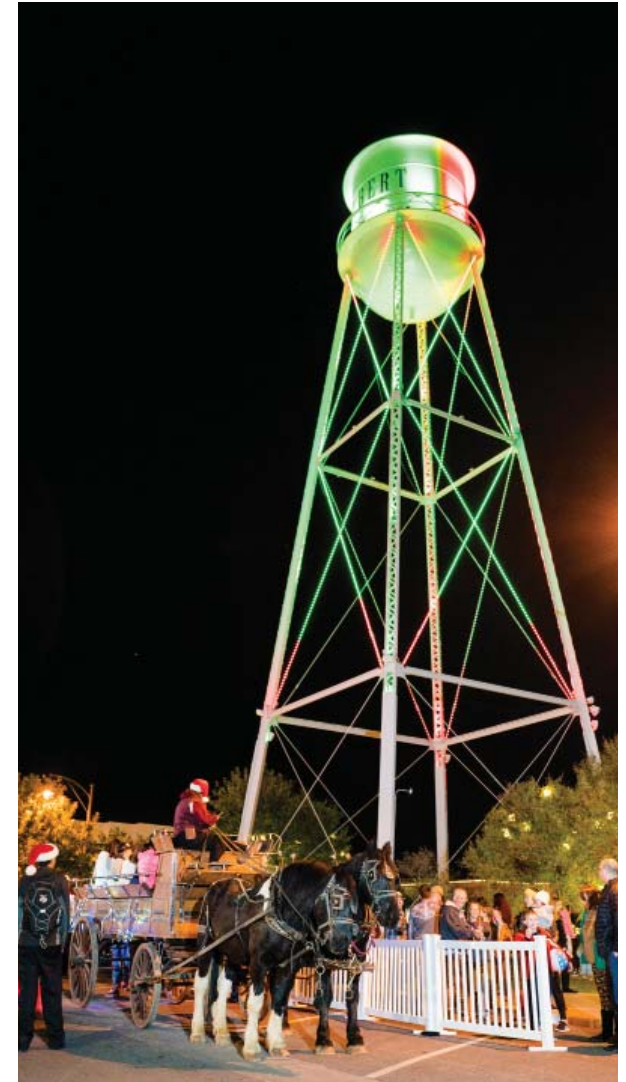
(Water Tower)

### Family

(picnics, children, pets)



## INSPIRATION





# Water Tower

## Environment

- Activation of space
- Gathering place
- Historic architecture and features
- Benches and tables
- pedestrian scale specialty lighting
- Iconic light poles with banners
- Grade changes
- Misters and water features
- Retractable walls facing parks/open space
- Specialty paving

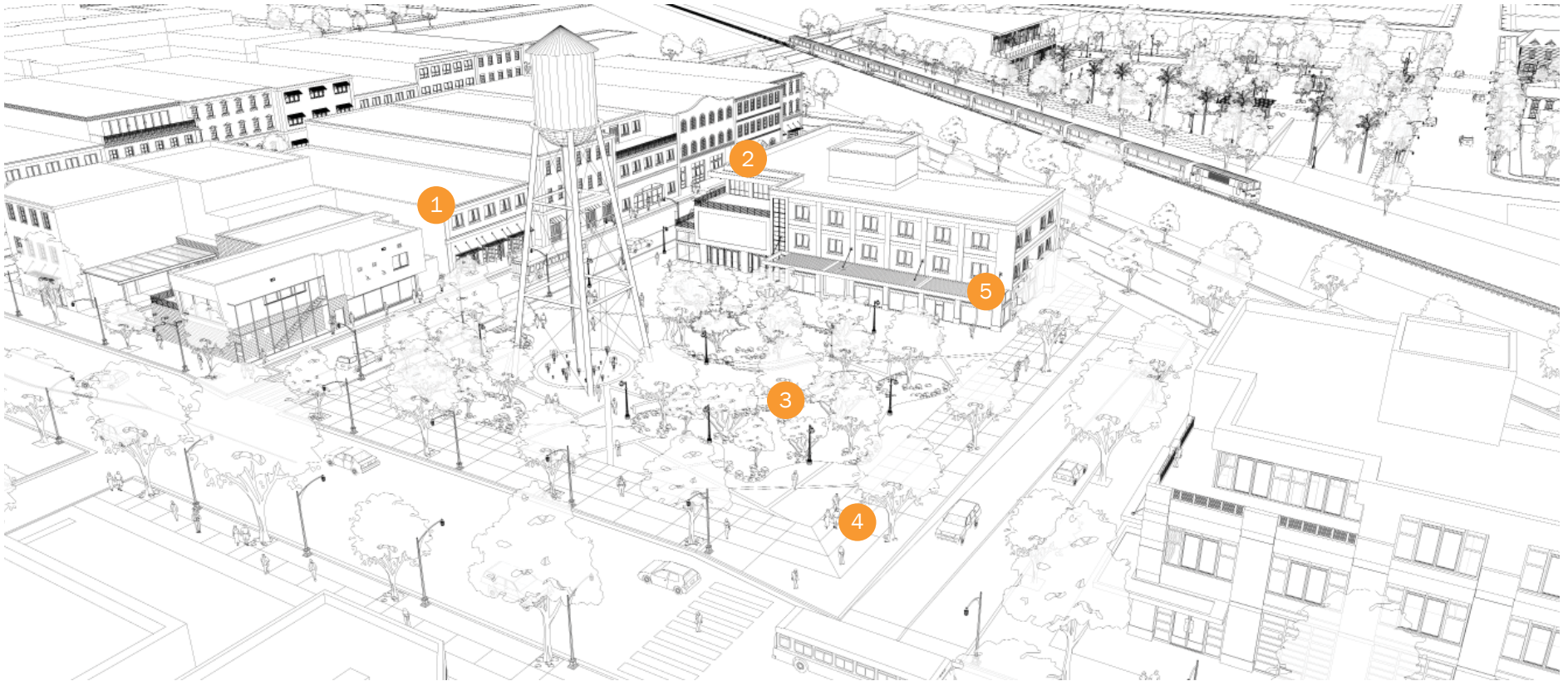
## Relationships

- Ensure visual connection from street
- Ensure a connection to transit system
- Buildings directly adjacent greater than 3 story must provide a 10' min. setback at the 3rd floor on the street side and park side elevations
- First floor should include outdoor patios or active spaces
- Encourage compact zero lot line design
- Entries should be easily identified by architectural accents or massing
- Balconies and decks are highly encouraged
- Two to three story preferred

## Benefits

- No bicyclists or micro mobility within the space
- All mechanical equipment shall be architecturally screened
- Trash receptacles where space allows





1 Historic architecture and features

3 Grade changes

5 Retractable walls facing park

2 Decks highly encouraged

4 Ensure visual connection from street



# Paseo

Safe, continuous, and dedicated north-south pedestrian/bicycle route that links the neighborhoods to key redevelopment areas and public spaces.

## EXPERIENCE

### Comfortable

(shaded nodes, good proportions, places to sit and observe surroundings)

### Intuitive

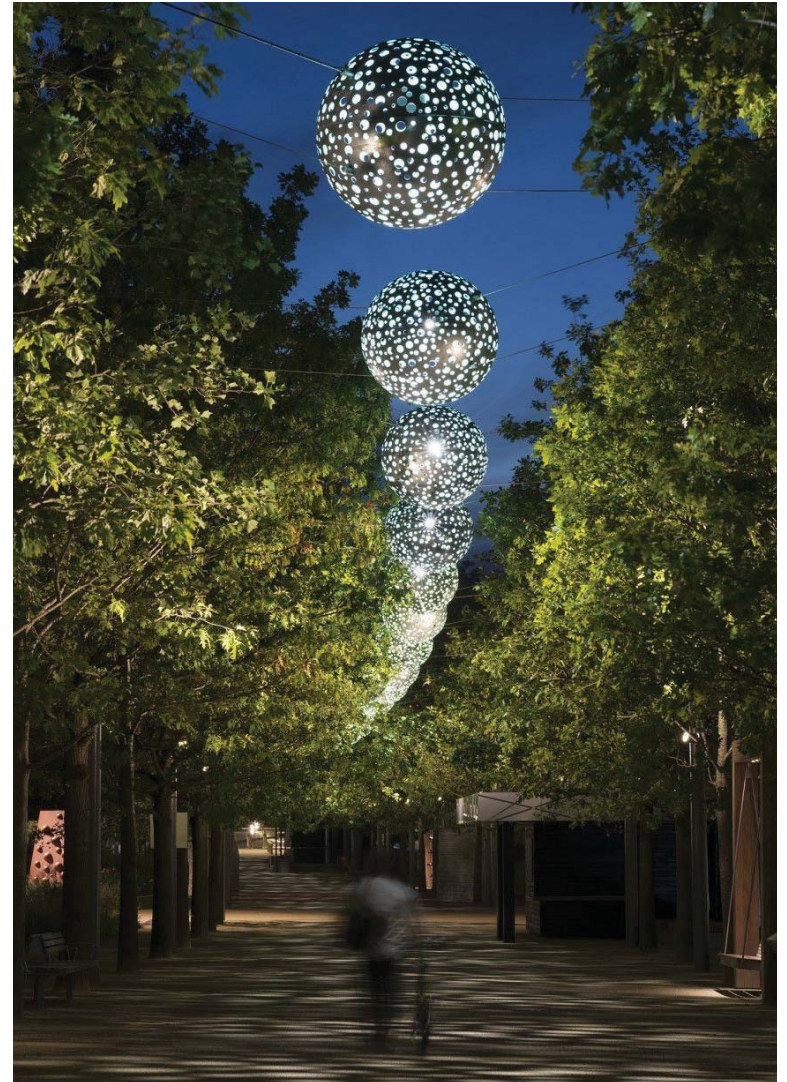
(easy way finding)

### Safe

(well-lit and active)



## INSPIRATION





# Paseo

## Environment

- 20' – 24' path multi use path depending on the location
- Permeable pavement
- Potted plants, outside of the require pathways
- Intermittent trees
- Distinctive lighting
- Low water plants, outside of the require pathways
- Water stations, outside of the required pathways
- Wayfinding
- Low maintenance environment
- Shaded rest stops, outside of the required pathways
- Banners on poles
- Public restrooms

## Relationships

- Active or transparent 1st floor when buildings are adjacent to the paseo
- Varying surrounding building heights
- Paseo visibility
- Balconies and outdoor open space connected and overlooking
- Ensure connections to other trails and pathways
- Multi use pathway

## Benefits

- Periodic bike parking, outside of the require pathways
- Trash receptacles provided, outside of the require pathways
- Access to alleys, parking garages and parking lots
- Nearby pedestrian loading zones/delivery zones
- Nearby parking
- All mechanical equipment shall be architecturally screened





1 Balconies and outdoor open space connected and overlooking

3 Distinctive lighting

5 Public restrooms

2 Banners on poles

4 Multi use pathway



# Veterans

Acting as an urban park, Veterans Park, provides a multigenerational experience for residents. The park features both active and relaxation zones

## EXPERIENCE

### Family Oriented

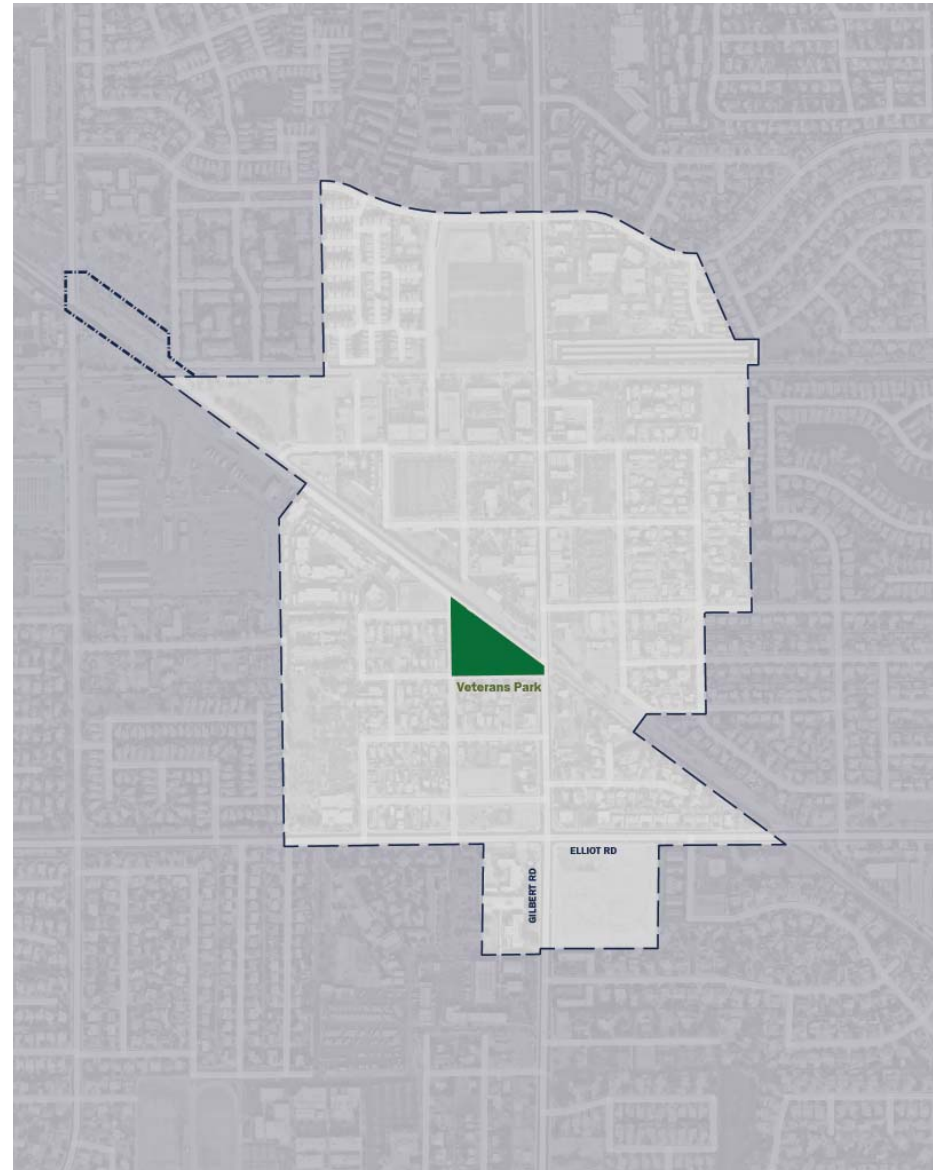
(lots of families walking and playing)

### Playful

(playground, games)

### Gathering

(ramadas for parties and BBQs)



## INSPIRATION





# Veterans

## Environment

- Significant landscape and green space
- Large lawn area
- Playground
- Minimum 6' sidewalks
- Comfortable seating
- Climate control
- Family games
- Low buffer from the railroad tracks
- Outdoor grills and ramada

## Relationships

- 1 and 2 story structures surrounding the area preferred
- Front yards, courtyards, stoops, and balconies directed toward the park
- On-street parking
- Potential pedestrian connection over or under railroad
- Interface between commercial and park

## Benefits

- Surrounding on-street parking
- Paseo connection
- Limited traffic
- Trash receptacles provided





- |                                 |                                      |   |
|---------------------------------|--------------------------------------|---|
| 1 Outdoor grills and ramada     | 4 1 and 2 story structures preferred | 7 Interface between commercial and park |
| 2 Surrounding on-street parking | 5 Comfortable seating                |   |
| 3 Family games                  | 6 Climate control                    |   |



# Commons

Urban open space surrounded by shaded seating, walking, and play areas while providing a large open center visible from Gilbert Road. The space should be flexible for varying daily public use and activities or larger events.

## EXPERIENCE

### Artistic

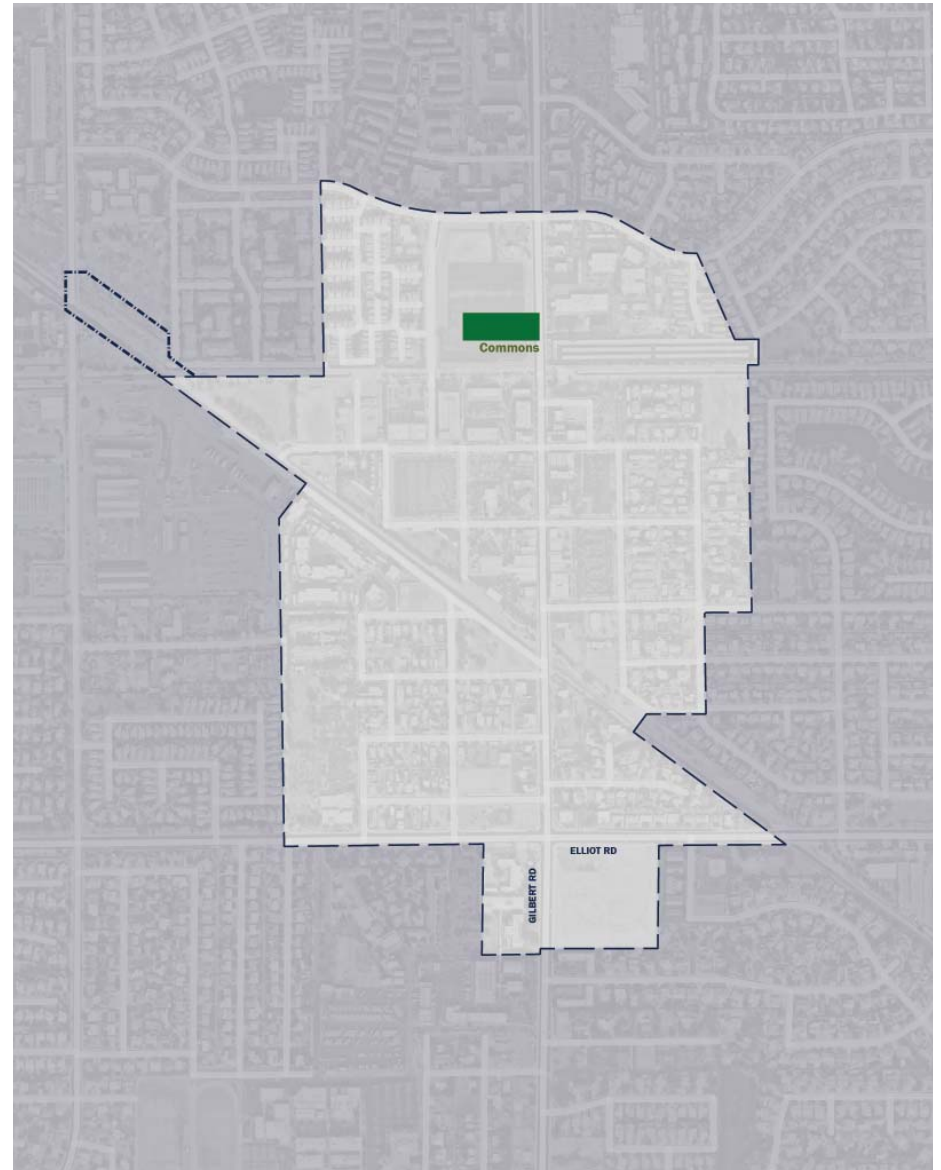
(performing arts or public art)

### Multi-use

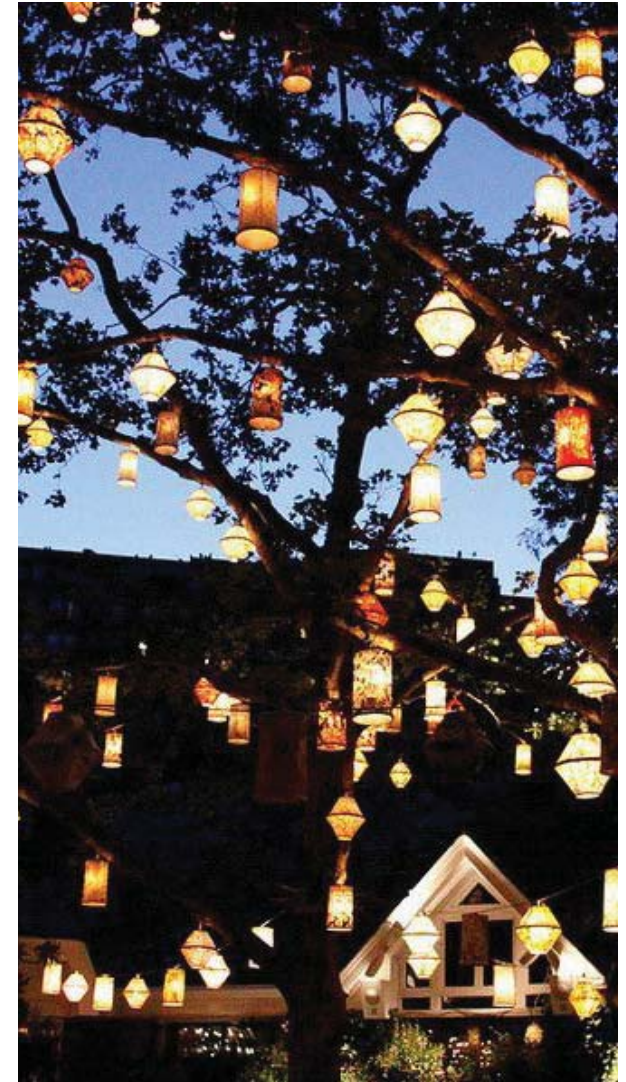
(vendor trucks around the edges)

### Active

(yoga in the park, art classes, tai chi)



## INSPIRATION





# Commons

## Environment

- Flexible design with predominate large lawn expanse for gatherings
- Shade provided by trees in grates or large colorful shade sails
- Flexible seating
- Creative distinctive lighting
- Flush curb
- Decorative bollards or planters as public art, lighting for safety
- Interactive art or exhibits
- Flexible integrated water feature/splash pad
- Retail pavilion/outdoor cafes
- Permeable pavement is encouraged for large hardscape expanses
- Public restroom
- Flexible programming with utilities provided



## Relationships

- Open and transparent environment on the first floor of surrounding buildings
- Strong integration and interface between restaurants and cafes with the open space
- Roof top decks encouraged on surrounding buildings
- 3 stories and greater preferred for surrounding buildings, 1 and 2 story buildings as approved by the RDC
- Vertical architectural articulation required on surrounding buildings
- Strong connection to the Paseo

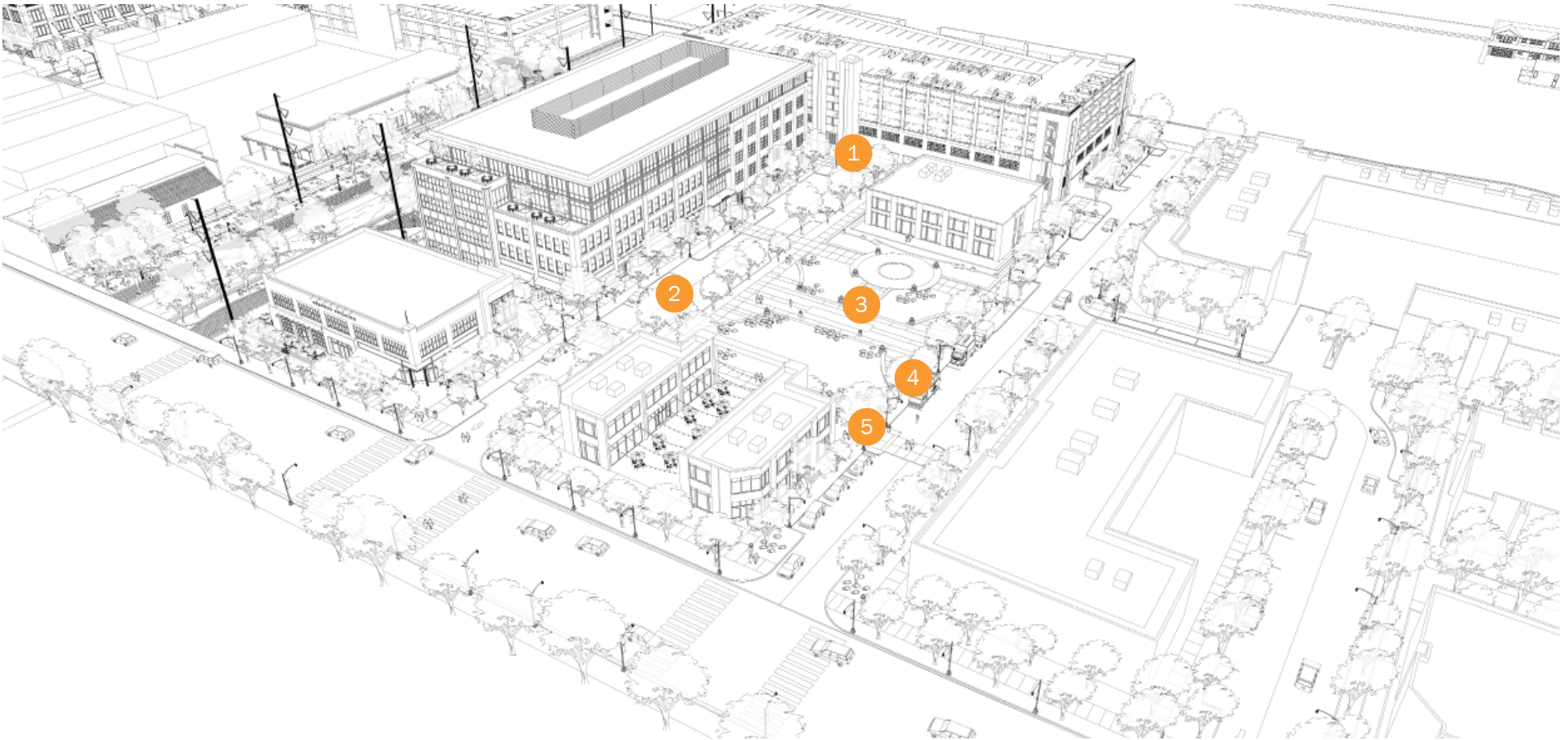


## Benefits

- Open Space relief from surrounding massing
- Refuse containers provided throughout
- Night time lighting required
- Consolidated trash or internal to adjacent businesses
- Mechanical equipment shall be fully screened
- Allow for curbside street vendors







- 1 Strong connection to the Paseo
- 2 Allow for curbside street vendors
- 3 Flexible design with predominate large lawn expanse for gatherings
- 4 Creative distinctive lighting
- 5 Interactive art or exhibits

# Legacy

Acting as an urban park, Legacy Park provides residents access to a communal open space and walk-to recreational amenities.

## EXPERIENCE

### Relaxing

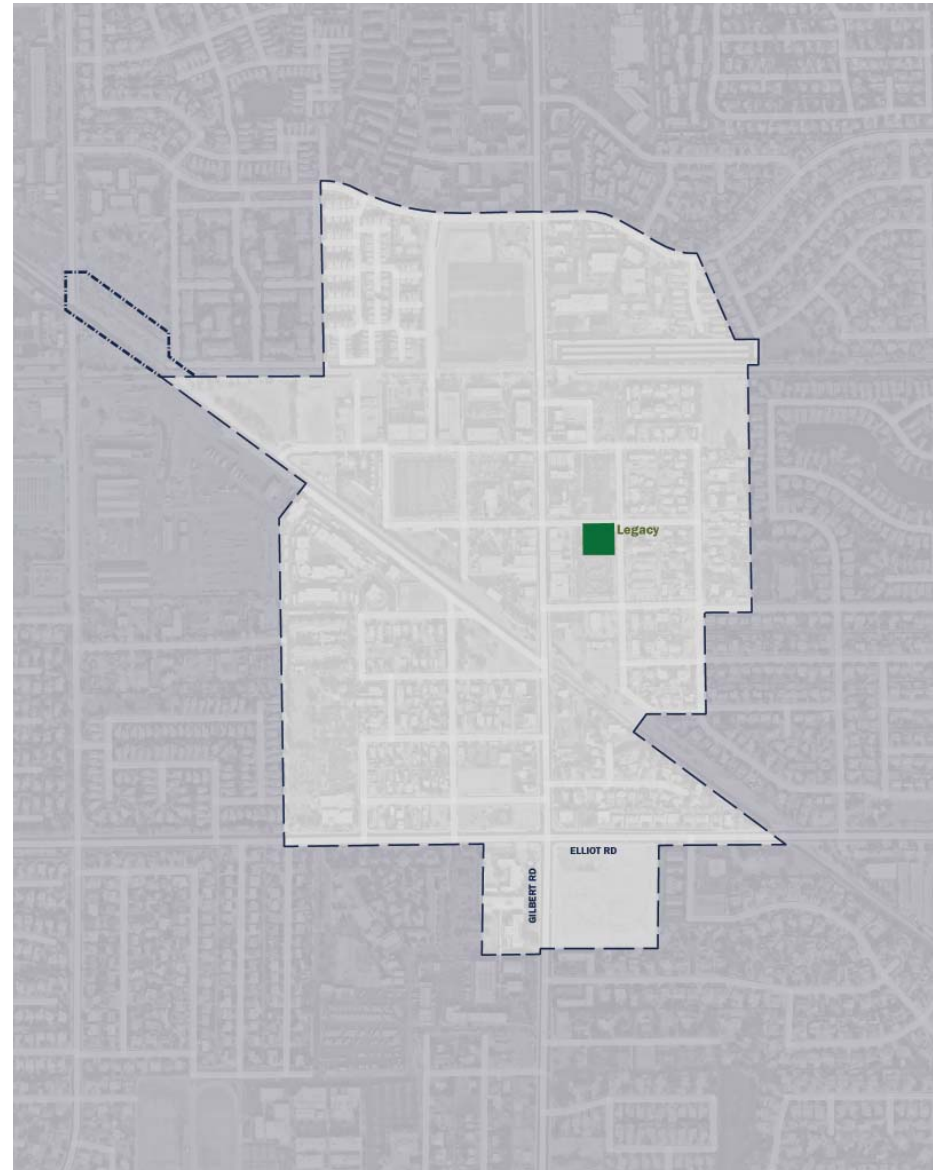
(people sitting on blankets and benches)

### Animal Friendly

(dog park)

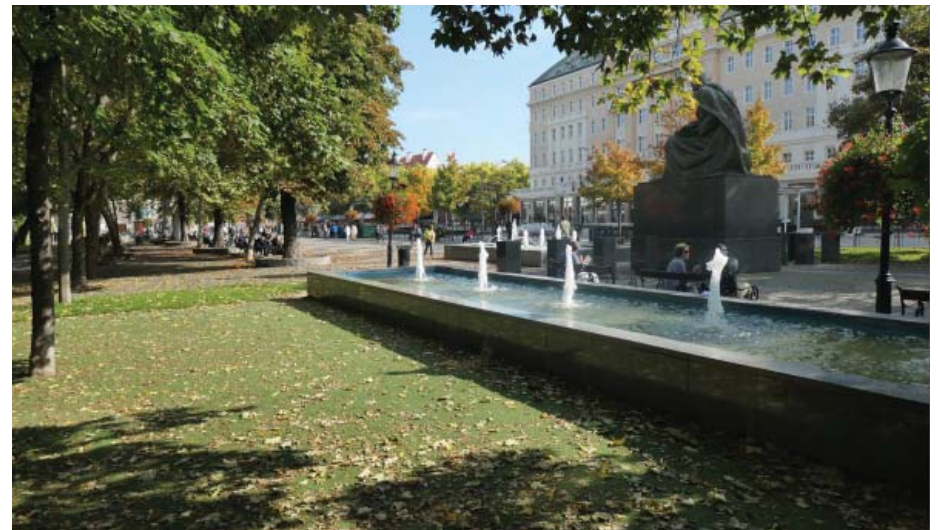
### Shaded

(lots of trees and shrubs)





## INSPIRATION





# Legacy

## Environment

- Significant trees and streetscape
- Classic park design with a historic central feature
- Minimum 6' sidewalks
- Comfortable seating
- Climate control
- Passive recreation or programmed recreation
- Night time lighting
- Small or linear water feature
- Built in seating as a buffer between the street and the parking
- Dog park with low fencing
- Perimeter seating

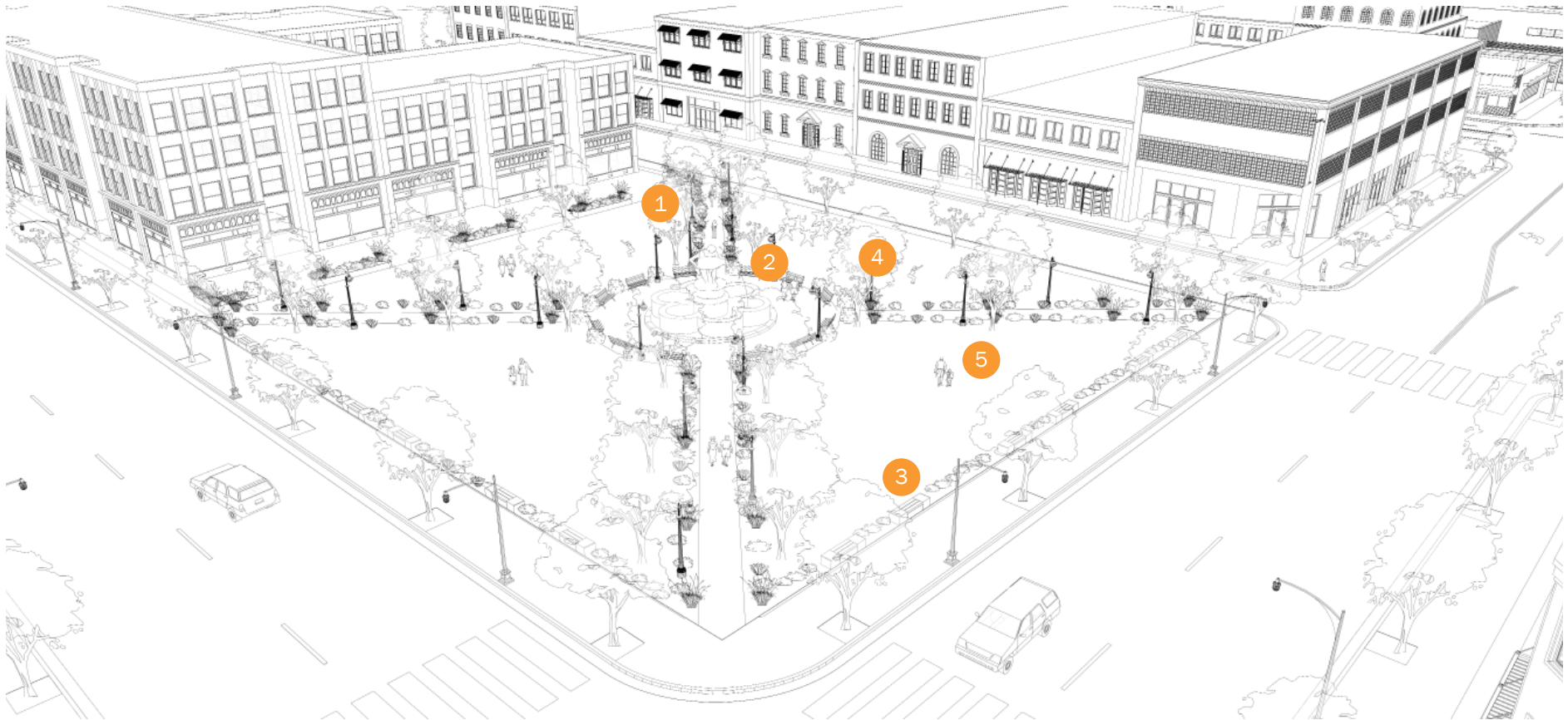
## Relationships

- Varying structure heights surrounding the park
- Front yards, courtyards, stoops, and balconies directed toward the park
- On-street parking

## Benefits

- Surrounding on-street parking
- Limited traffic
- Trash receptacles provided
- Pedestrian oriented night time lighting required





- 1 Climate control
- 3 Built in seating as a buffer between the street and the parking
- 5 Dog park with low fencing
- 2 Pedestrian oriented night time lighting required
- 4 Passive recreation or programmed recreation

# Living Room

The Livingroom builds on the strengths and character of the Heritage District to provide access to a variety of cultural, historical, educational and shopping destinations. The space integrates with the heart of the community at Water Tower plaza.

## EXPERIENCE

### Live Entertainment

(concert and plays)

### Vibrant

(people on balconies, roof decks, lots of people on the street)

### Appeals to all senses

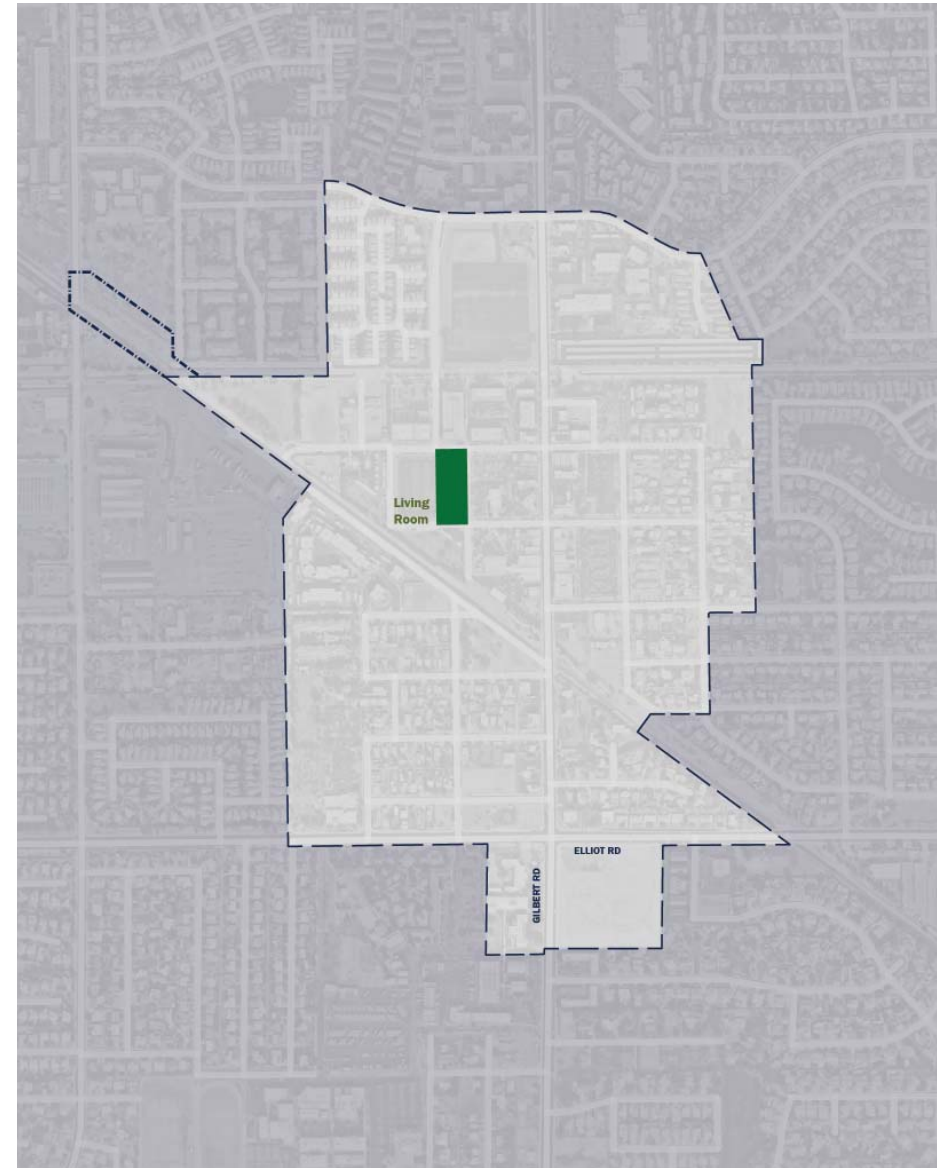
(banners, public art, vendors, street performers)

### Outdoor retail sales

(transient vendors)

### Evoke sense of celebration

(people dancing)





## INSPIRATION



# Living Room

## Environment

- Flexible programming with utilities provided (optional stage)
- Predominate hardscape for large gatherings
- Ensure both a physical and visual connection from surrounding streets
- Connect to transit system
- Street trees in tree wells surrounding the plaza
- Shade provided large colorful shade sails
- Playful interactive furniture
- Festival lighting
- Retail Kiosks/stands
- Flush curb
- Decorative bollards as public art and lighting
- Heating and cooling devices encouraged
- Include identifying features or art
- Permeable pavement is encouraged for large hardscape expanses
- Strong connection to integrated Paseo
- Public restrooms
- Streetside zones for transient vendors
- Active use on ground floor of surrounding environment
- Covered space for live music or entertainment

## Relationships

- Open and transparent environment on the first floor of surrounding buildings
- Significant balconies and decks, encouraged on surrounding buildings
- 3 and 4 stories preferred for surrounding buildings
- Vertical architectural articulation required on surrounding buildings

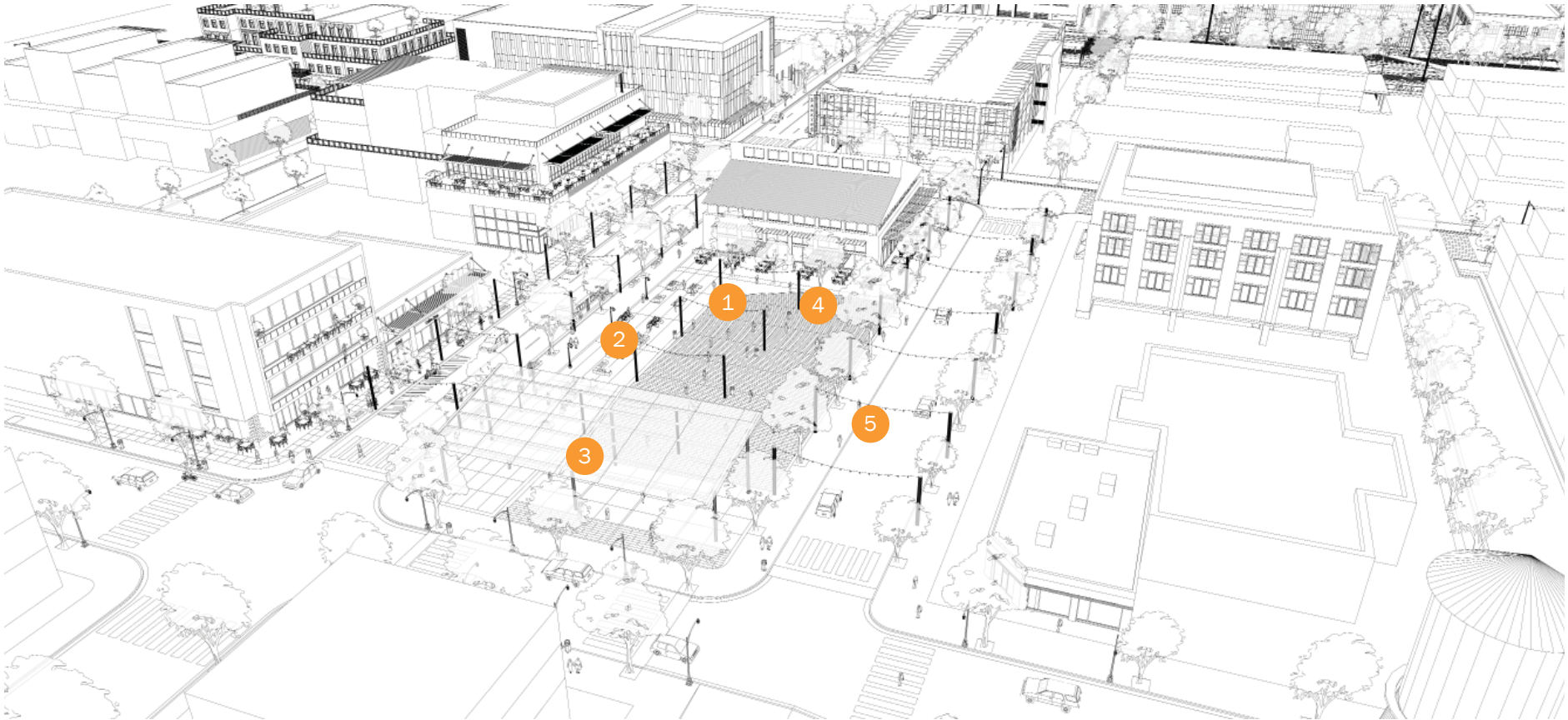


## Benefits

- Grouped bike parking
- Curbside ride share
- Refuse containers provided throughout
- Night time lighting required
- Consolidated trash or internal to adjacent businesses
- Mechanical equipment shall be fully screened







- 1 Predominate hardscape for large gatherings
- 2 Playful interactive furniture
- 3 Covered space for live music or entertainment
- 4 Open and transparent environment on the first floor of surrounding buildings
- 5 Streetside zones for transient vendors



# Western Canal

The Western Canal is a east west link through the Town. It is visually tied to the power line corridor and irrigation facilities that acts as visual landmarks. Residents utilize the trail system as a convenient safe way to access the Heritage Village activities.

## EXPERIENCE

### Clear wayfinding

(marked pathways delineated by signage, trees and lights)

### Stimulating

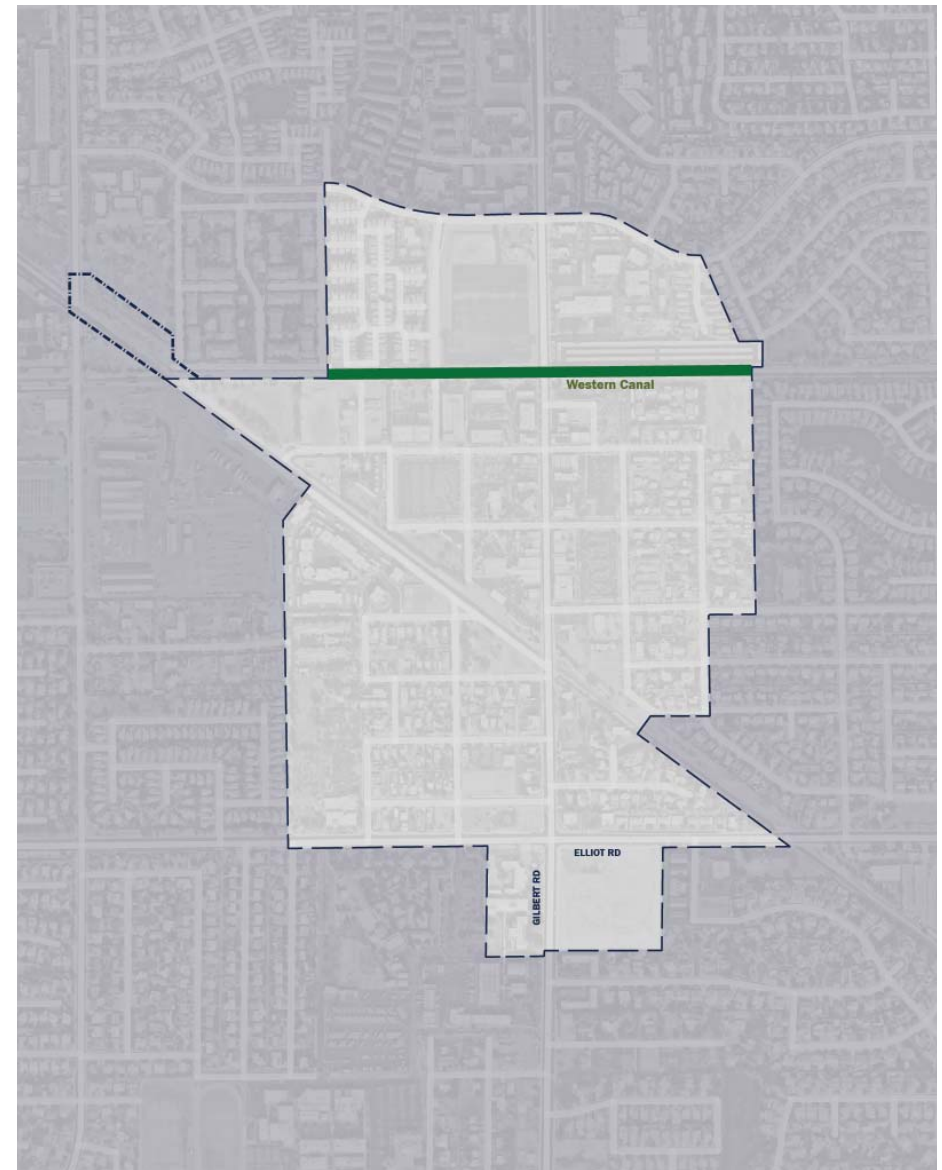
(people taking pictures in front of a mural wall, public art, trees surround by interesting buildings, vendors)

### Safe

(well-lit and well populated)

### Wide-open

(parklike setting with people jogging, and playing frisbee)



## INSPIRATION





# Western Canal

## Environment

- 10' to 20' multi use path
- Low level trees and shrubs per SRP plant palette
- Lawn areas where appropriate
- Low water, low maintenance plants
- Water stations
- Wayfinding
- Public art
- Shaded rest stops
- Banners on poles
- Power pole wraps
- Water oriented environment

## Relationships

- Varying surrounding building heights
- Ensure connections to other trails and pathways
- Strong connection to the Commons, the Living Room and to the Paseo
- Outdoor patios and active uses on ground floor only
- Limit exterior balconies and decks above two story due to power lines

## Benefits

- Public restrooms
- Periodic bike parking
- Bike repair stations
- Trash receptacles provided
- Access to alleys, parking garages and parking lots
- Nearby curbside ride share/delivery zones
- Nearby parking
- All mechanical equipment shall be architecturally screened







- 1 Power pole wraps
- 2 Shaded rest stops
- 3 Water oriented environment
- 4 Outdoor patios and active uses on ground floor only
- 5 Low level trees and shrubs per SRP plant palette



**76 Dwell Overview**

**78 Lacy Tract**

**82 Greenhaw Place**

**86 Mixed**

**90 Complex**

The architecturally unique and diverse neighborhoods in the Heritage District are the fundamental building blocks that define the form and character of downtown.



## Dwell Overview

The neighborhoods within the Heritage District are unique enclaves, each with their own vernacular. Some continue to embrace their past character, changing slightly with additions or improvements. While other neighborhood are being reinvented or intensified. Whichever path it maybe, each neighborhood community has a story with proud residents to tell it.





# Lacy Tract

The Lacy Tract neighborhood is a traditional neighborhood developed in 1917. The bungalow homes house a tight knit community of citizens that have lived in the heart of Gilbert for generations.

## EXPERIENCE

### Community

(people walking their dogs,  
children on bikes, gardening)

### Friendly

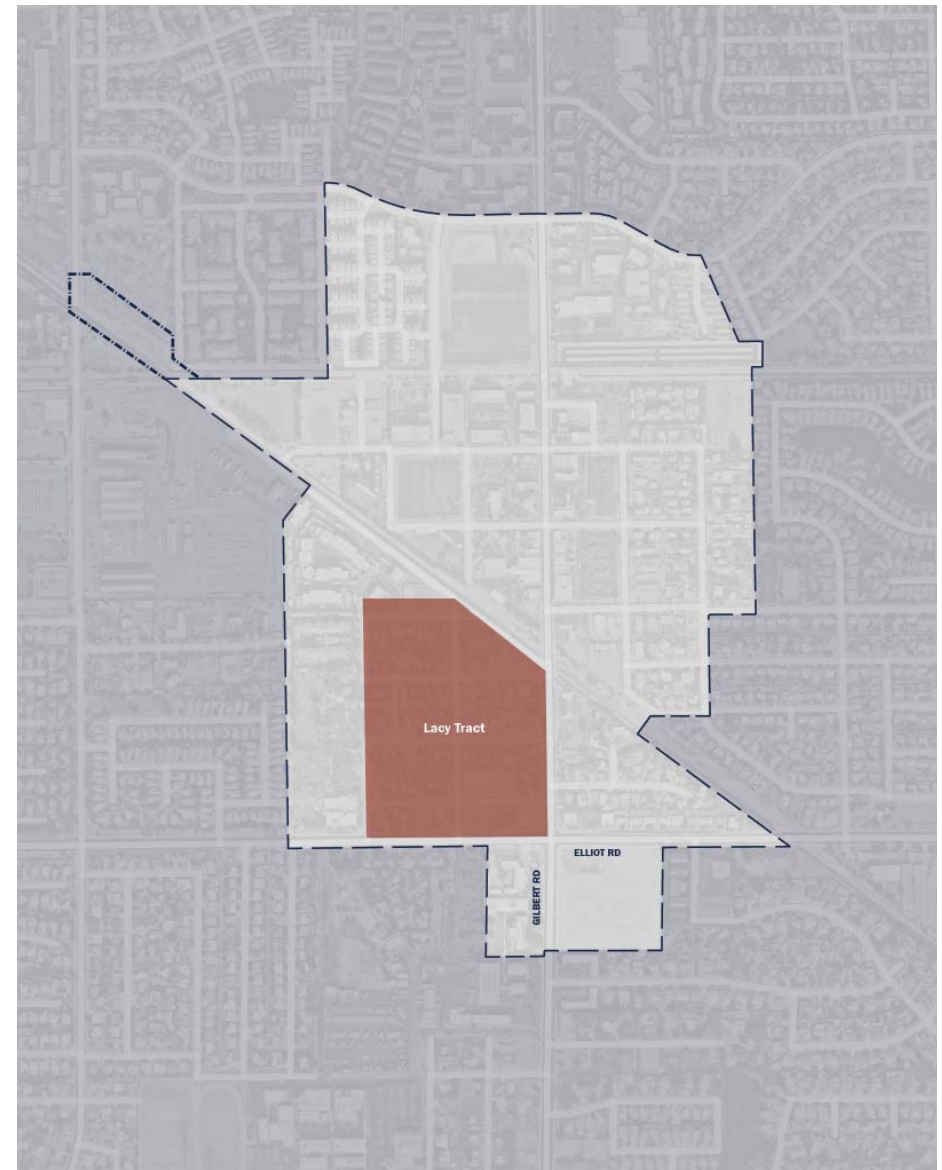
(neighbor interaction)

### Quiet

(people sitting on a front porch)

### Picturesque

(timeless neighborhood)





## INSPIRATION



# Lacy Tract

## Environment

- Historical architectural vernacular from the early 1900s, primarily Bungalow, Farmhouse, Cottage, Territorial Ranch Mission or Arts and Craft. Contemporary or Modern architecture is not permitted
- Front porches, courtyards or raised stoops are required
- Low fences and walls outside of the ROW may be used to help define the yard
- Fences/walls constructed of masonry, vinyl, wrought iron, or in other decorative materials as approved by the RDC
- Gabled or hip roofs, parapet roofs may be approved by the RDC
- Street trees within the tree lawn every 20' to 30'
- Architecturally appropriate durable roofing materials such as tile, standing seam metal or shingle
- Primary building materials to be masonry, stucco, wood/wood-like siding or other decorative materials as approved by the RDC
- Architectural colors to be consistent with palettes of the early 1900s or period architecture proposed
- Window designs as appropriate to the architectural style, divide light encouraged
- Single story homes are encouraged
- New residential development should maintain the traditional landscape character and sidewalk design of the existing residential streetscape.
- Break up the perceived mass of a building by dividing the building front into modules or smaller elements that are similar in size to buildings seen
- Use building scale and roof lines that are similar to those seen in the neighborhood
- A new secondary structure should respect the mass and scale of the primary structure.
- A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material.

## Relationships

- The house should address the street
- Front loaded garages must be recessed from the front building elevation by a minimum of 8'
- The front door should be clearly visible from the street
- Alley access should be for accessory structures or garages
- Rear alley loaded garages or carports must have a 3' apron
- Neighborhood block sizes should be maintained.
- Lots shall not be combined
- Individual mailboxes
- New residential development or redevelopment projects should maintain and enhance the Heritage District's system of alleys.
- Undergrounding of utilities
- Mechanical equipment shall be screened and ground mounted for new construction
- Curbside refuse pick-up



1 Historical architectural vernacular from the early 1900s, primarily Bungalow, Farmhouse, Cottage, Territorial Ranch Mission or Arts and Craft. Contemporary or Modern architecture is not permitted

2 Single story homes are encouraged

3 The front door should be clearly visible from the street

4 Street trees within the tree lawn every 20' to 30'



# Greenhaw Place

Greenhaw Place is a true mid-century modern ranch style neighborhood. The small insulated subdivision, east of Gilbert Road, was platted in 1949. The neighborhood boasts spacious lots, green front lawns, mature trees, attached garages or carports.

## EXPERIENCE

### Active

(Kids playing basketball in a driveway and riding bikes)

### Comfortable

(people doing yardwork)

### Engaged

(people walking and talking to people in the yard)



## INSPIRATION



# Greenhaw Place

## Environment

- Historical mid-century modern or ranch style architecture. Contemporary architecture is not permitted.
- Front porches and covered entries are required
- Low fences and walls outside of the ROW
- Fences/walls constructed of masonry, vinyl, wrought iron, or in other decorative materials as approved by the RDC
- Gabled or hip roofs. Parapet roofs may be approved by the RDC
- Architecturally appropriate durable roofing materials such as tile, standing seam metal or shingle
- Primary building materials to be masonry, or wood/wood-like siding or other decorative materials as approved by the RDC
- Architectural colors to be consistent with palettes of the mid 1900s
- Window designs as appropriate to the architectural style, divide light encouraged
- One and two story homes are encouraged
- A new secondary structure should respect the mass and scale of the primary structure.
- A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material.

## Relationships

- The house should address the street
- The front door should be clearly visible from the street
- Garages and care ports should be flush with the front elevation or recessed
- Alley access should be for accessory structures or garages
- Lots shall not be combined

## Benefits

- Individual mailboxes
- Undergrounding of utilities
- Historic street lights
- Mechanical equipment shall be screened and ground mounted for new construction
- Curbside refuse pick-up





- 1 One and two story homes are encouraged
- 2 Front porches and covered entries are required
- 3 Window designs as appropriate to the architectural style, divide light encouraged
- 4 Historical architectural vernacular turn of the century to mid century, primarily Farmhouse and Ranch. Contemporary or modern architecture is not permitted

# Mixed

Mixed is a predominantly a neighborhood of stylized apartment buildings, condominiums and townhomes that are integrated with non-residential uses. The mix of uses create a synergistic vibrant environment steps from historic Gilbert Road. The comfort streetscape leads to front doors, stoops, and covered entries that are overlooked by balconies and decks.

## EXPERIENCE

### Walkable

(people strolling with dogs on leashes)

### Shady and Green

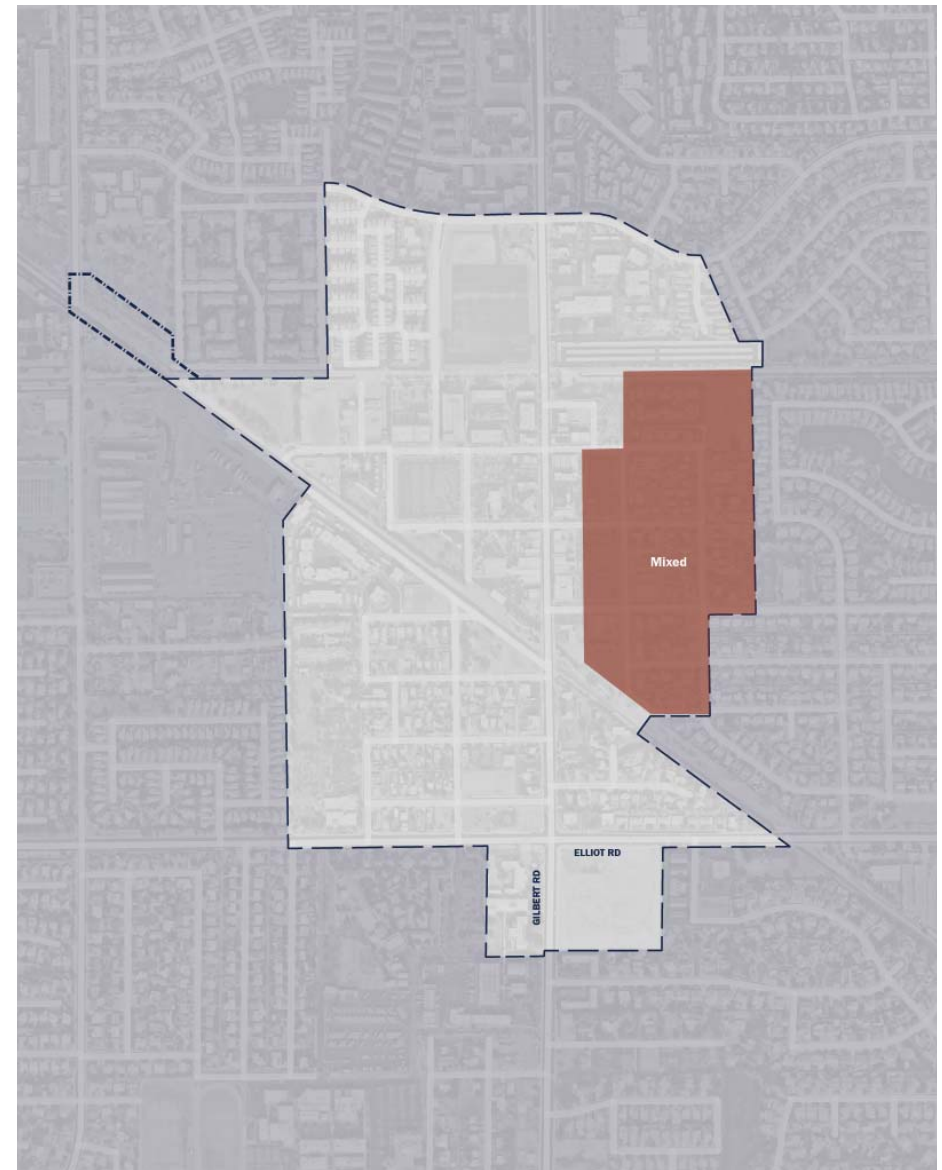
(lots of trees and shrubs)

### Quiet

(people sitting on benches)

### Charming

(subtle architectural character with balcony seating or people sitting on stoops)





## INSPIRATION





# Mixed

## Environment

- Mixed use environment with combination of single family, multifamily and non-residential
- Street trees in grates
- Individual front doors facing the street with courtyards or stoops
- Primarily brick with metal and glass accents
- Historic street lighting
- Landscape planters
- Shady and green
- Potted plants and hanging baskets

## Relationships

- Balconies and terraces facing the street
- Pedestrian scale
- 2 to 3 story
- 4 story allowed for mixed use
- Stepback required at the 3rd floor when adjacent to the Heritage District Boundary
- When the first floor is a non-residential use, 75% transparency required when residential 50% transparency required
- A new secondary structure should respect the mass and scale of the primary structure.
- A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material.

## Benefits

- Group Bike parking
- Access to alleys and parking garages
- All mechanical equipment shall be roof mounted and architecturally screened
- Required garages and parking off of alleys
- Street parking for required visitor spaces allowed
- Minimum 6' sidewalks
- Curbside refuse collection





- 1 Mixed use environment with combination of single family, multifamily and non-residential
- 2 Street trees in grates
- 3 Balconies and terraces facing the street
- 4 Landscape planters
- 5 Historic street lighting

# Complex

Complex neighborhoods located within the Heritage District were constructed as uniform neighborhoods. The mature environment provides comfortable living within walking distance to the historic heart of Gilbert.

## EXPERIENCE

### Distinctive

(consistent architecture and landscape)

### Safe

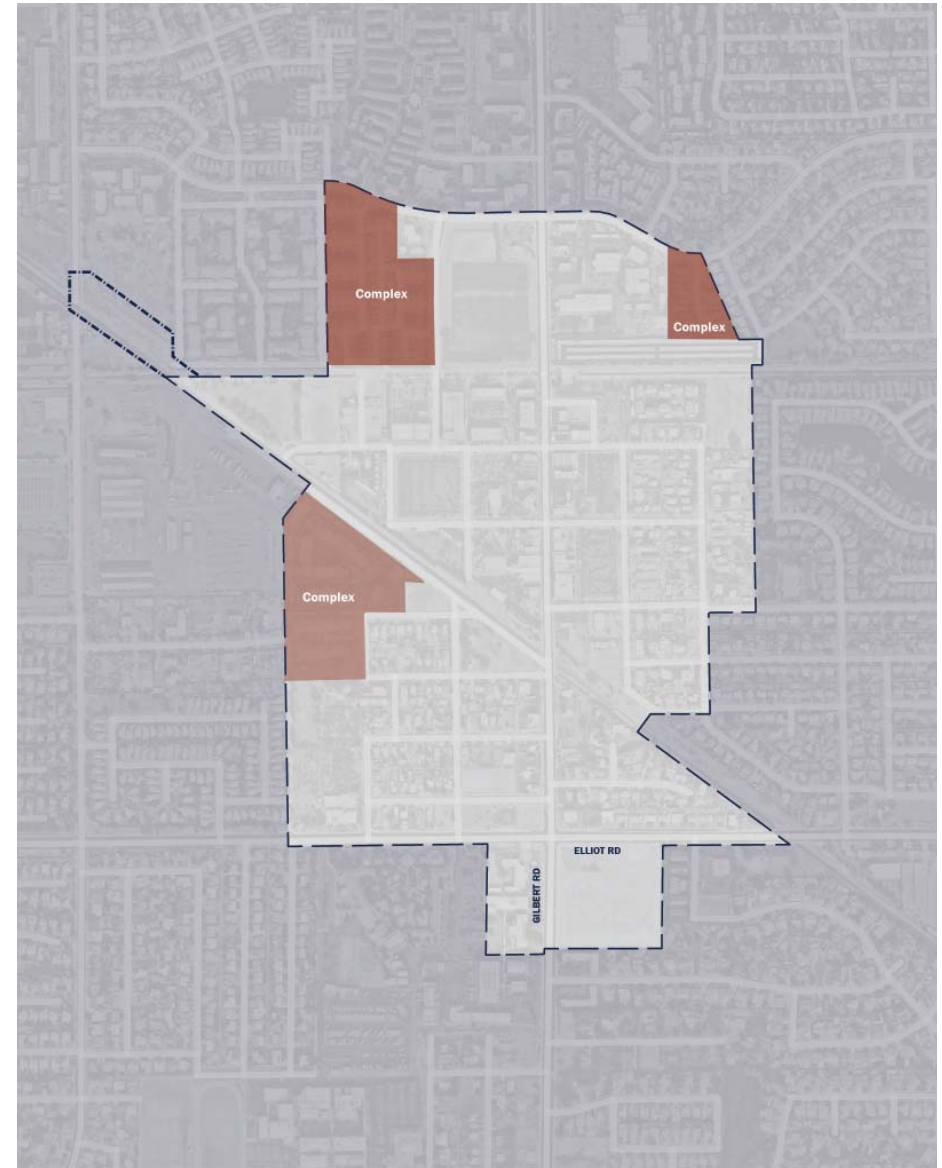
(well-lit and uniformly groomed)

### Relaxed

(people jogging and walking)

### Inviting

(Open environment, not gated)





## INSPIRATION



# Complex

## Environment

- Existing neighborhoods shall maintain their existing approved aesthetic
- Changes to the approved aesthetic shall be approved by the RDC
- Improvements to the grounds shall be consistent with previous Town approvals

## Relationships

- Changes to the existing approved plans shall address the relationship addressed in the Redevelopment Master Plan
- Improvements to the existing streetscape is encouraged
- changes to the existing environment to better interface with the streetscape, trails or village amenities is highly encouraged

## Benefits

- Group bike parking
- Communal trash collection
- Retrofitting to compactor refuse collection is encouraged







- 1 Changes to the existing environment to better interface with the streetscape, trails or village amenities is highly encouraged
- 2 Changes to the approved aesthetic shall be approved by the redevelopment Commission
- 3 Communal trash collection







# CREATE

---

- 96 Art**
- 96 Arcades And Windows**
- 97 Heritage District Colors And Materials**
- 98 Heritage District Landscape Character**
- 102 Street Furniture**
- 103 Signage**
- 104 Terms**

# Art

- Public art may be murals, sculpture, banners, flag panels, bollards, lighting, paintings, etched concrete...
- Each project should incorporate some form of public art
- Art should encourage interaction and communication
- Public art must meet the decency requirements of the Municipal Code
- Public art may not be signage for a business or use
- Public art may not represent a use internal to the building or on property
- Public art may be temporary or rotated
- Lighting should be included
- Select art which communicates a relationship to our sense of place, relates to the passage of time, creates a sense of joy and delight and stimulates play and creativity.

# Arcades and Windows

- First floor non-residential windows should include creative three dimensional displays
- Storefront windows, even for restaurant venues
- Windows should reflect the style and character of the architecture.
- Maintaining the line of storefronts at sidewalk edge and orienting main entrances to open toward the street.
- The first floor street walls should contain architectural elements that create visual interest and a pedestrian street environment such as display windows facing the sidewalk, outdoor dining areas and public art integrated with the building design.
- Articulate facades to provide a visual effect that is consistent with the character and scale of the Heritage District.
- Encourage corner buildings to locate angled entrances at the corner.
- Recessed entries should be retained and encouraged in new storefront construction.
- Entries incorporating window display areas and kick plates with an accent material recessed from the sidewalk would be preferred.
- Window patterns along the streets should include repetition of evenly-spaced, similarly-sized, upper-story windows. The alignment and similar scale of windows reflect a common historic pattern that should be continued.
- Upper floor windows should be divided into individual units and not consist of a “ribbon” of glass.
- Deeply recessed or inset windows are preferred for their ability to shade interiors and reflect historic character.
- Tinted or reflective glass in brushed aluminum frames should be avoided



# Heritage – Colors and Materials

- Exterior elevation materials should appear similar to those used historically in the late 1800s and early 1900s
- Primary Exterior materials include:
  - Smooth Stucco
  - Brick
  - Wood
- Accent materials include:
  - Terra cotta
  - Steel
  - Stone
  - Tile
  - Glass
  - Brick
  - Wood
- Building colors should be respect the architectural style of the building.
- Matte finishes are highly preferred
- Where paint is utilized the color should be appropriate to the architectural
- One or two accent colors may be introduced to highlight details and trim.
- Fabric or metal awnings/ canopies should not be the dominant architectural feature of a building except for first floor elevations
- Preservation of existing mature trees is highly encouraged
- Awnings should have colors and patterns that complement building materials, colors and architectural character
- Corporate branding of buildings other than with signage is not permitted

# Heritage District Commercial & Mixed Use Landscape Character

## Streetscape Tree Palette

Common Name	Botanical Name
<b>Canopy</b>	
Pistache cultivars	Pistacia
Evergreen Elm cultivars	Ulmus
<b>Colorful Accent</b>	
Chitalpa	Chitalpa tashkentensis
Thorneless Cascalote	caesalpinia cacalaco
<b>Vertical Accent</b>	
Palo Blanco	Acacia willardiana

## Trees

Common Name	Botanical Name
Ash	Fraxinus species
Casalote	Caesalpinia species
Chaste Tree	Vitex agnus=castus
Chinese Pistache	Pistacia chinensis
Chitalpa	Chitalpa tashkentensis
Evergreen Elm	Ulmus parvifolia
Mexican Bird of Paradise	Caesalpinia pulcherrima
Oleander sp.	Oleander
Orchid Tree	Bauhinia species
Palo Verde sp.	Cercidium
Texas Mountain Laurel	Sophora secundiflora
Tipu	Tipuana tipu

**Shrubs**

Common Name	Botanical Name
Cape Honeysuckle	Tecomaria capensis
Cape Plumbago	Plumbago auriculata
Cassia sp.	Caesalpinioideae
Coral Fountain	Russelia equisetiformis
Dwarf Myrtle	Myrtus communis 'Compacta'
Eremophila sp.	Eremophila
Gardenia	Gardenia Jasminoides
Little John Bottlebrush	Callistemon viminalis 'Little John'

**Shrubs**

Common Name	Botanical Name
Mexican Honeysuckle	Justicia spicigera
Red Bird	Caesalpinia pulcherrima
Ruellia	Ruellia
Sage	Leucophyllus species
Salvia sp.	Salvia
Tacoma sp.	Tacoma stans
Valentine Bush	Eremophila maculate 'Valentine'
Yellow Bird	Caesalpinia gilliesii



# Heritage District Commercial & Mixed Use Landscape Character

## Groundcovers

Common Name	Botanical Name
Bush Morning Glory	Convolvulus cneorum
Dwarf Rosemary	Rosmarinus officinalis 'Prostratus'
Elephant Food	Portulacaria
Eremophila sp.	Eremophia
Ice Plant	Delosperma
Katie Ruellia	Ruellia brittoniana 'Katie'
Lantana	Lantana
Purple Heart	Peltogyne
Potato Vine	Solanum jasminoides
Yellow Dot	Wedelia trilobata

## Accents

Common Name	Botanical Name
Agave sp.	Agave
Aloe sp.	Aloe species
Bear Grass	Nolina sp.
Bougainvillea sp.	Bougainvillea
Deer Grass	Muhlenbergia sp.
Euphorbia	Euphorbia sp.
Fortnight Lily	Dietes
Gaura sp.	Gaura lindheimeri 'Pink/White'
Hesperaloe	Hesperaloe sp.
Mexican Feather Grass	Nassella tenuissima
Slipper Plant	Pedilanthus macrocarpus

Vines

Common Name	Botanical Name
Hacienda Creeper	Parthenocissus sp.
Lilac	Hardenbergia violacea
Queen’s Wreath	Antigonon leptopus
Snail	Vigna Caracalla
Trumpet vine	Campsis radicans/Odranea ricasoleana

# Street Furniture

Historic Light Poles: Sternberg's 5222 Barrington Decorative Pole with 1913CA Libertyville Tear Drop Lens

Stop Sign and Sign Poles: Sternberg POLE: 4212FP4, CATAL4212-FP4-.188-SCC-1/2ABC&SKIRT/PG

Bench: Park Vue 26" x 36" x 72" Backed with Arms

Bowery Planter Jacket (name and manufacture)

Trash Receptacle (name and manufacture)

Metro style Drinking Fountain (name and manufacture)

Pennsylvania Ave Bollard (name and manufacture)

Tree grates Neenah Metropolitan Collections



# Signage

The objectives of the signage guidelines are to provide signage that enhances the architectural design of buildings within downtown Gilbert and encourages creative and innovative approaches to advertising within an established framework.

Signage can incorporate graphics, symbols, letters or numbers for advertising or identifying any business, product, goods or services provided or sold on-site.

Signs should be highly graphic in form, expressive and individualized to provide a distinctive character. Historic sign types are preferred.

Projecting signs are strongly encouraged.

Signage should not obscure or overwhelm existing architectural details or cover over them.

Signs should convey the product or service offered by the business in a bold, graphic form.

Signage location should take into consideration the location and future growth of street trees. Tree shall not be removed for better signage visibility.

Awning signs should be used to add visual interest to a building and provide shade.

Awning signs should be placed over windows, doors and pedestrian walkways. Awning sign lettering shall be dictated by the size of the awning and shall be proportional to the awning. Variety in lettering styles is encouraged. Color of the lettering shall compliment the awning color and must be compatible with the overall facade of the building.

Exposed neon or LED lighting is encouraged due to its colorful visual quality at night.

Back-lit, halo-lit illumination, or reverse channel letters with halo illumination are highly encouraged.

Wall signs should be related to a building's entrances or street frontage.

Wall signs shall be mounted in locations that respect the design of a building, including the arrangement of bays and openings.

Directional Signs are encouraged to help people navigate the Heritage District. Directional signs should be considered at the time of the original site plan approval to allow for an unobstructed footprint.

Signs that project into the right-of-way shall apply for an Encroachment Permit through the Town of Gilbert Engineering Department prior to permitting.

See the Land Development Code for additional sign regulations.

# Terms

**Historic Vernacular.** Primarily architectural styles found in the southwestern United States during the late 1800s and early 1900s. Examples of these styles are: Bungalow, Farmhouse, Cottage, Arts and Craft, Territorial Ranch, Craftsman or Mission. Contemporary or modern architecture is not permitted

**Abutting or Adjoining.** Having district boundaries or lot lines in common. For streets, abutting or adjoining shall mean a lot or parcel touching the street at any point.

**Accessory Structure.** A detached subordinate structure, the use of which is incidental to the use of the principal structure, and which is located on the same lot or parcel as the principal structure. Common accessory structures are garages, parking canopies, storage sheds and guest houses.

**Apartment Building.** A multi-family residential structure under single ownership containing 3 or more dwelling units for lease.

**Art.** A device, fixture, placard, structure, element, or feature whose primary purpose is to express, enhance, or illustrate an emotion, or create a feeling, identity, idea, historical or fictional happening, or value. Art may include, sculpture, etching, mural, lighting, furniture, specialty pavement.

**Awning.** A roof-like cover entirely supported by and extending from a building for the purpose of protecting openings from the elements, providing shade or architectural embellishment.

**Balcony.** A platform that projects from the wall of a building, typically above the first level, and is surrounded by a rail, balustrade, or parapet.

**Basement.** That portion of a building that is partly or completely below grade plane. A basement shall be considered a story above grade where the finished surface of the floor above the basement is:

1. More than 6 feet above grade plane;
2. More than 6 feet above the finished ground level for more than 50 percent of the total building perimeter; or
3. More than 12 feet above the finished ground level at any point.

**Bedroom.** Any habitable room that may legally function as a bedroom in that it complies with, or is required by the Building Official to comply with, all applicable laws and regulations pertaining to sleeping rooms.

# Terms

**Building.** Any structure for the shelter or support of any use or occupancy.

**Building Envelope.** The volume of space for building as defined by the minimum building setbacks and the maximum allowable building height (SEE APPENDIX 1, FIGURE 19).

**Building Height.** The vertical distance from the finish floor level to the highest level of the roof surface of flat or mansard roofs, or to the mean height between eaves and ridges of gable, gambrel, or hip roofs (SEE APPENDIX 1, FIGURE 20).

**Building, Main or Principal.** A building where the principal use of a lot is conducted.

**Building Step-Back.** A required setback for a portion of a building above the first floor (SEE APPENDIX 1, FIGURE 21).

**Canopy.** A roof-like cover partially supported by poles or columns affixed to the ground and partially supported by a building.

**Carport.** A roofed structure not fully enclosed by walls for the purpose of providing shelter for one or more vehicles.

**Courtyard.** An uncovered area that may or may not have access to the street that is fully or partly enclosed by a building, buildings.

**Dining, Outdoor.** An exterior area used as seating for a contiguous Eating and drinking establishment.

**Facade.** That portion of any exterior elevation of the building extending from grade to top of the parapet, wall, or eaves, and extending the entire width of the building elevation.

**Fence.** A barrier or made of wire, wood, metal, masonry, PVC or other similar material. Vegetative material, tennis court enclosure, and golf ball protective net are not considered to be fences.

**Fence, Open.** A fence through which clear vision is possible for 75 percent or more of the structure as viewed on a horizontal plane, from any point perpendicular to the fence line.

**Festival Lighting.** Decorative low level lights that are often hung in trees, over walkways and around patios/courtyards that provide for ambiance.

**Flex Curb.** The curbside management of city streets using varying operating concepts, techniques, and practices that allow a municipality to allocate the use of their curbs in high demand areas during specific days and/or times by specific users.



# Terms

**Flexible Programing.** An area that allows for various activities and is not encumbered by physical constraints.

**Flush Curb.** A ribbon strip surface delineating a change from vehicle to pedestrian access.

**Hardscape.** Refers to a man-made surface such as paved areas, driveways, retaining walls, stairs, walkways, and any other exterior features made up of hard wearing materials such as wood, stone, and concrete.

**Height, Story.** The vertical distance from top to top of two successive finished floor surfaces; and, for the topmost story, from the top of the floor finish to the top of the ceiling joists or, where there is not a ceiling, to the top of the roof rafters.

**Horizontal articulation.** Significant changes in the depth of the surface of a building face or façade such as attached columns, recessed windows or window bays that provides texture and interest to the building surface.

**Marquee.** A permanent structure attached to, supported by, and projecting from a building for the purpose of protecting openings from the elements, providing shade or architectural embellishment. A Marquee does not include an Awning or Canopy.

**Mixed-Use Development.** A coordinated Development Plan with a functional integration of residential and non-residential uses, where a variety of different living activities (live, work, shop, and play) are in close proximity (walking distance) to most residents, resulting in measurable reductions in traffic impacts.

**Mural.** A hand-painted work of original visual art that is painted directly on the exterior surface of a building, structure, wall or surface with the express permission of the property owner; and is non-commercial in that it does not promote a particular business, service or product.

**Open Air Accessory Structure.** Means a freestanding permanent structure that has a solid roof, lattice roof or fabric roof surface supported by poles, posts, columns or other vertical structural members that are permanently anchored into the ground. The structure may have up to one wall on any of the sides with the remaining sides open.

**Open Air Attached Patio.** Means a patio within the rear half of the lot attached to the house or to an accessory structure, guest quarters or secondary dwelling unit that is open on at least one side. The patio may have a solid roof, lattice roof or fabric roof surface supported by poles, posts, columns or other vertical structural members.

# Terms

**Open Air Porch.** Means a porch attached to the front of a dwelling unit or to an accessory structure, guest quarters or secondary dwelling unit that is open on at least two sides.

**Open Space.** Any area of land or water permanently dedicated or designated for use for active or passive recreation areas, landscape buffers, flood control, storm water retention, or resource management.

**Operable walls.** A wall system comprised of individual panels that can moved independently to open to allow the outdoors in or fitted together to form a continuous flat surface that encloses a space from the outside.

**Lot.** A unit of land shown on a recorded subdivision plat, record of survey map, parcel map, or recorded as a metes and bounds description.

**Patio, Covered.** An attached roofed structure, open on one or more sides, whose use is for indoor-outdoor living and recreation.

**Permeable Pavement.** A stabilized porous surface that allows rainwater to pass through.

**Pocket Park.** A small landscaped open space that is often created on a single vacant lot or irregular pieces of land in a high density environment.

**Porch.** An attached, covered platform open on at least 2 sides located at the front of a dwelling unit.

**Private Park.** A private park means an area owned by a homeowner's association, property owner's association or business that is used as a playground, or contains playground equipment, or areas with trees/turf or ramadas or contains the following facilities or amenities: paths, trails, picnic tables, sports fields, basketball courts, bbq grills, splash pads, tennis courts, volleyball courts, or swimming pools. A private park is not a non-turf retention/detention basin primarily used to contain stormwater or property used as an employee break or amenity area.

**Public Park.** A public park is a town recreation facility or town park as defined in municipal code chapter 46-1 definitions.

## Residential Housing Types

**Attached Single Family Dwelling.** A dwelling unit on an individual lot that has at least 1 wall in common with 1 or more other dwelling units on separate lots.

**Condominium.** Real estate, portions of which are designated for separate ownership and the remainder of which is designated for common ownership solely by the owners of the separate portions.

**Duplex.** A building on 1 lot used and designed as a residence for 2 families living independently of each other with individual cooking and sanitary facilities in each dwelling unit.

# Terms

**Multi-Family Dwelling.** A building on 1 lot used and designed as a residence for 3 or more families living independently of each other with individual cooking and sanitary facilities in each dwelling unit. Multi-family dwellings may include apartment buildings and residential condominiums. Multi-family housing may be in a mixed-use building with ground floor commercial space.

**Secondary Dwelling Unit.** A second, subordinate dwelling unit located on the same lot as the principal dwelling unit.

**Single Family Dwelling Unit.** 1 building on 1 lot or parcel designed for occupancy by 1 family for living and sleeping purposes, and having cooking and sanitary facilities.

**Studio Dwelling Unit.** A unit containing only a single habitable room for living and sleeping purposes, and having cooking and sanitary facilities.

**Retail Sales.** The sale, rental, or lease of goods, products, or material directly to the consumer.

**Sign.** Any device, fixture, placard or structure, including its component parts, which draws attention to an object, product, place, activity, opinion, person, institution, organization, or place of business, or which identifies or promotes the interests of any person and which may be viewed from the private property of another or from any public street, road, highway, right-of-way or parking area (collectively referred to as a “public area”). For the purposes of these regulations, the term “sign” shall include all structural members. A sign shall be construed to be a display surface or device containing organized and related elements composed to form a single unit. In cases where matter is displayed in a random or unconnected manner without organized relationship of the components, each such component shall be considered to be a single sign. The term “sign” for regulatory purposes shall not include the following objects: Grave yard and cemetery markers visible from a public area, vending machines or express mail drop-off boxes visible from a public area, decorations visible from a public area, artwork or a building’s architectural features visible from a public area, or a manufacturer’s or seller’s markings on machinery or equipment visible from a public area.

**Screening.** A method of visually shielding or concealing and area or an unattractive utilitarian use through fencing, walls, berms, or densely planted non-deciduous vegetation.

**Stepback.** An architectural design feature that is typically applied to an upper-stories of a building that requires the elevation of the building be pushed back a designated amount to allow for light, air and the limitation of building mass.



# Heritage District Design Guidelines

## DRAFT 2020

**Stoop.** A flat area at the front door of a house, often with steps below used for sitting.

**Transient Vendor.** Any person who engages in a temporary business by traveling from place to place buying or selling goods, wares, or merchandise.

**Tree Lawn.** A strip of landscape covered ground between sidewalk and the back of curb, often planted with trees.

**Vertical Articulation.** Significant changes in the height of a building's roofline that allows for visual variation and movement to the profile of a building.

**Window Display.** A window, typically along a street or at the front of a building, that displays items for sale or otherwise designed to attract customers to the store.

**Zero Lot Line.** The location of a building on a lot or parcel so that one or more of the building's elevations rests directly on a property line.

### FOR MORE INFORMATION

Contact the Office of Economic Development regarding the Design Guidelines or activities in the Heritage District

Gilbert Office of Economic Development  
90 E. Civic Center Drive  
Gilbert, AZ 8529

480-503-6700 voice  
econdev@gilbertaz.gov

[gilbertedi.com](http://gilbertedi.com) | [gilbertaz.gov](http://gilbertaz.gov)

